

LEGEND

EXISTING

PROPOSED

ABBREVIATIONS

BITUMINOUS PAVEMENT

BUILDING RESTRICTION LINE

BUILDING

CENTERLINE & STATIONS

CHAIN LINK FENCE

CLEAN OUT

CONCRETE SIDEWALK

CURB AND GUTTER

CURB INLET

CURVE NUMBER

DOUBLE HEAD LIGHT

DRAINAGE AREA DIVISION

EARTH DIKE

FIRE HYDRANT

GRADE CONTOUR

HANDICAP RAMPS

LIMIT OF DISTURBANCE

LOT LINE

MANHOLE NUMBER

PROPERTY LINE

OVERHEAD UTILITIES

REDUCER

RIGHT-OF-WAY LINE

RIDGE

SANITARY SEWER LINE AND MANHOLE

SILT FENCE

SINGLE HEAD LIGHT

SOIL BOUNDARY AND TYPE

SPOT ELEVATION

STABILIZED CONSTRUCTION ENTRANCE

STRUCTURE NUMBER

STORM DRAIN LINE

STORM DRAIN MANHOLE

TELEPHONE CONDUIT

TEMPORARY SWALE

TREES

UTILITY POLE

VALVE AND VAULT

WATER LINE

WATER LINE TEE

YARD INLET

ARC = LENGTH OF CURVE

ASPH = ASPHALT

BC = BOTTOM OF CURB

BM = BOTTOM OF WALL

C&G = CURB AND GUTTER

CF = CUBIC FEET

CFS = CUBIC FEET PER SECOND

CHD LEN = LENGTH OF CHORD

CHD BRG = CHORD BEARING

CMP = CORRUGATED METAL PIPE

CY = CUBIC YARD

DELTA = INTERNAL ANGLE

DIP = DUCTILE IRON PIPE

EOP = EDGE OF PAVEMENT

EX = EXISTING

LP = LOW POINT

HP = HIGH POINT

PCC = POINT OF COMPOUND CURVE

PC = POINT OF CURVATURE (HORIZONTAL)

PI = POINT OF INTERSECTION

PRC = POINT OF REVERSE CURVATURE

PROP = PROPOSED

PT = POINT OF TANGENCY (HORIZONTAL)

PVCC = POINT OF VERTICAL COMPOUND CURVE

PVRC = POINT OF VERTICAL REVERSE CURVE

PVC = POINT OF CURVE (VERTICAL)

PVC = POLYVINYL CHLORIDE PIPE / (POINT OF VERTICAL CURVE)

PVT = POINT OF TANGENCY (VERTICAL)

R = RADIUS OF CURVE

RCP = REINFORCED CONCRETE PIPE

SF = SQUARE FOOT

SY = SQUARE YARD

TAN = TANGENT OF CURVE LENGTH

TC = TOP OF CURB

TW = TOP OF WALL

V = VELOCITY

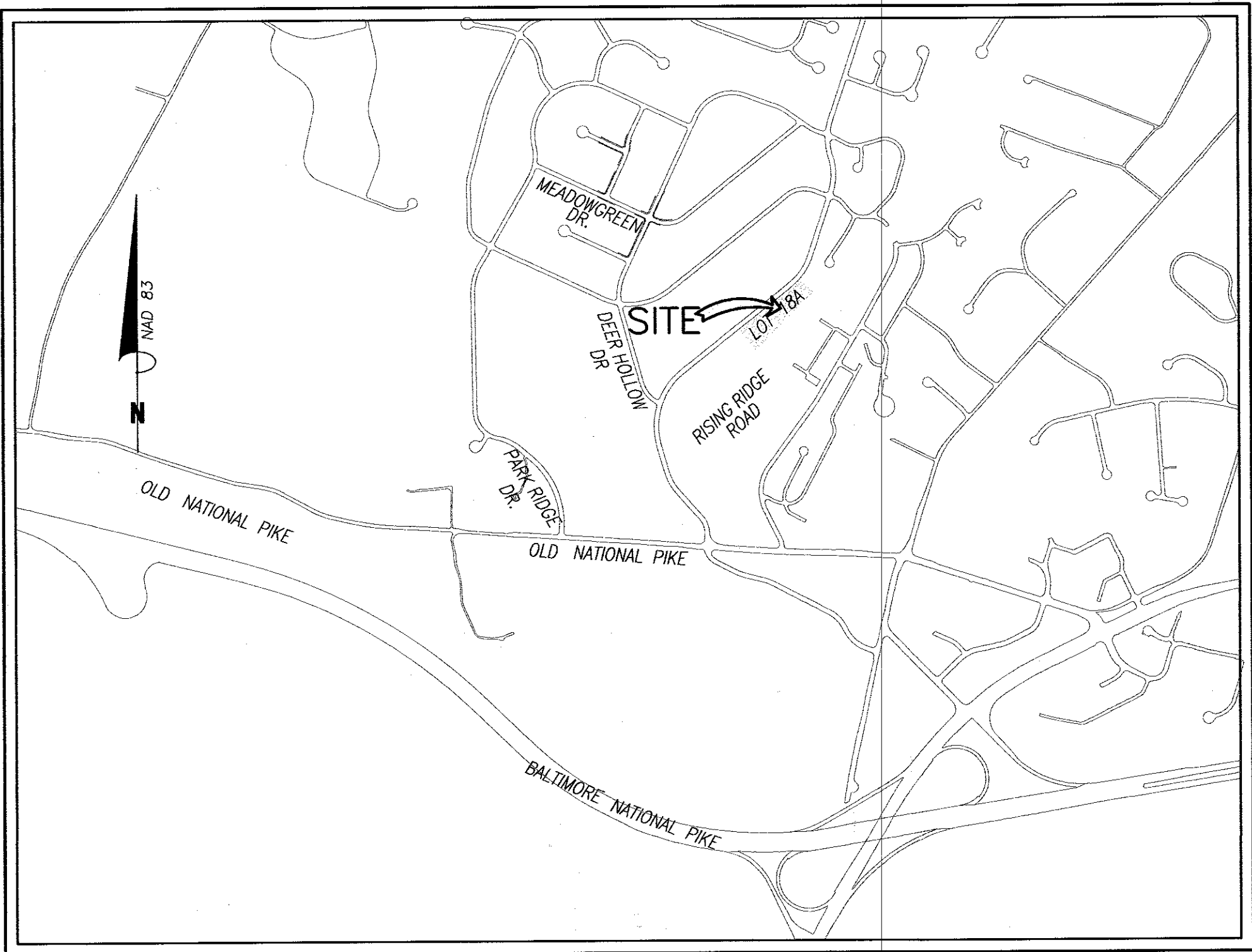
CONCEPT SITE PLAN

LOT 18A, SECTION II

18TH ELECTION DISTRICT * TOWN OF MOUNT AIRY

OWNER
LDG RIDGEVILLE LLC
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

DEVELOPER
LDG INC.
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000



LOCATION MAP
SCALE: 1"=1000'

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- THE CONTRACTOR SHALL NOTIFY AND SCHEDULE A PRECONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO THE START OF ANY CONSTRUCTION. PRECONSTRUCTION MEETING SHALL INCLUDE TOWN ENGINEER, TOWN INSPECTOR, CONTRACTOR AND DEVELOPER / OR CONSTRUCTION MANAGER.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROL.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER, TOWN INSPECTOR, AND CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK REQUIRING SITE COMPLIANCE INSPECTIONS.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION.
 - PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
 - SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - A "FORM" INSPECTION ON ALL ACCESSIBLE ROUTES/RAMP/CURB RAMPS SHALL BE COMPLETE BEFORE PLACEMENT OF FINAL MATERIAL.
 - COMPLETION OF ALL DRIVES, PARKING LOTS AND SURROUNDING GRADING.
 - COMPLETION OF ALL WORK SHOWN ON PLANS.
 - THE CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE OF CONSTRUCTION UNTIL GIVEN APPROVAL OF PRIOR PHASES.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED BY NOTIFYING THE TOWN OF MOUNT AIRY AT (301) 829-1474. WRITTEN APPROVAL FROM THE TOWN MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE APPROVED PLANS.
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.

SITE DEVELOPMENT DATA

- THE PROPERTY SHOWN HEREON IS OWNED BY:
LDG RIDGEVILLE LLC
RECORDED AMONG THE LAND RECORDS OF FREDERICK COUNTY MD. IN L. 13701 F. 225 DATED 04/03/2020
TAX MAP 90B, PARCEL 1408 PB 74 PAGE 119
- EXISTING ZONING: INDUSTRIAL I-ZONE
- EXISTING USE: VACANT
- PROPOSED USE: FLEX INDUSTRIAL
- TOTAL AREA OF PROPERTY: 3.42 AC.
- TOTAL DEVELOPED (IMPERVIOUS) AREA OF PROPERTY: 2.466 AC/107,437 S.F.
- PARKING REQUIREMENTS:

TYPE OF USE	PARKING RATIO	GROSS SQUARE FEET	REQUIRED PARKING SPACES
FLEX INDUSTRIAL	3.5 SPACES/ 1000 S.F.	28,800	101

- PARKING PROVIDED: 101 SPACES
101 PARKING SPACES (INCLUDES 6 HANDICAP SPACES)
3 LOADING SPACES (12'X45')
- TRAFFIC GENERATION - GENERAL LIGHT INDUSTRIAL
AM PEAK HOUR = 0.92 / 1,000 S.F. = 0.92 / 28.8 = 27 TRIPS
PM PEAK HOUR = 0.83 / 1,000 S.F. = 0.83 / 28.8 = 24 TRIPS
- MINIMUM BUILDING RESTRICTION LINES
FRONT:40' / SIDE:25' / REAR:40'
- SITE IS SERVED BY PUBLIC WATER AND SEWER
EMPLOYEES = 40
EST. WATER FLOW = 2016 GPD
EST. SEWER FLOW = 2016 GPD
- TOPOGRAPHY SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM CARROLL COUNTY, FIELD CHECKED BY VANMAR ASSOC. OCTOBER, 2012. VERTICAL DATUM NAVD83.
- SOIL CLASSIFICATION MAP NO. 51
- THE HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD-83-(91), AS PROJECTED BY C. C. MONUMENTS "WATKINS & WATKINS AZIMUTH". TOPOGRAPHY SHOWN HEREON IS AERIAL BY POTOMAC SURVEYS DATED 3/98. CONTROL INTERVAL IS 2 FEET, FIELD UPDATED BY VMA, APRIL 2006.
- NEAREST WATER SUPPLY IS ADJACENT TO SITE IN RISING RIDGE ROAD
- SITE PLAN INCLUDING ALL GRADING, STORMWATER MANAGEMENT, UTILITY, FOREST CONSERVATION, AND PARKING REQUIREMENTS HAVE BEEN DEVELOPED FOR THE PROPOSED BUILDING.
- A SIX-FOOT DRAINAGE AND UTILITY EASEMENT IS HEREBY RESERVED ALONG ALL LOT LINES.

STORMWATER MANAGEMENT

- STORMWATER MANAGEMENT REQUIREMENTS ARE PROVIDED FOR/SATISFIED IN SWM POND #4
THE SWM ESD TO MEP REQUIREMENTS FOR LOT 18A WILL BE ADDRESSED USING (M-6) MICRO BIOTRENTATION AND (M-9) ENHANCED FILTERS (STORM GARDEN). STORMWATER MANAGEMENT IS IN ACCORDANCE WITH THE 2009 REVISIONS OF THE 2000 MARYLAND STORMWATER DESIGN MANUAL.
- A "STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT" IS TO BE GRANTED TO THE TOWN OF MOUNT AIRY AS AN EASEMENT OF ACCESS TO THE TOWN OF MOUNT AIRY OR AUTHORIZED REPRESENTATIVES BY A DEED INTENDED TO BE RECORDED SIMULTANEOUSLY HERewith.

FOREST CONSERVATION

PRELIMINARY PLAN OF SUBDIVISION APPROVED 2/28/1991, PER CHAPTER 150.21, THE SITE PLAN IS EXEMPT FROM THE PROVISIONS OF CHAPTER 150 FOREST CONSERVATION.

WATER RESOURCE PROTECTION

THE PROPERTY IS LOCATED WITHIN AN AQUIFER PROTECTION AREA. THERE IS NO PLANNED USE, TRANSFER AND/OR STORAGE OF HAZARDOUS OR REGULATED SUBSTANCES TO THE GROUND WATER, STORMWATER MANAGEMENT SYSTEM OR DRAINAGE SYSTEM.

GENERAL NOTES

- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE TOWN OF MOUNT AIRY PLANNING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY TOWN OF THE MOUNT AIRY PLANNING COMMISSION.
- PROPOSED LIGHTING TO BE PROVIDED AND ATTACHED TO THE PROPOSED STRUCTURE. LIGHTS TO BE SHIELDED SO AS TO PREVENT GLARE TO ADJACENT PROPERTIES, IN COMPLIANCE WITH THE TOWN LIGHTING ORDINANCE.
- HANDICAPPED PARKING SIGNS SHALL BE 7' FROM BOTTOM OF SIGN TO GROUND.
- CONTRACTOR SHALL CONFIRM THAT ALL UTILITIES ARE INSTALLED PRIOR TO PAVING AND PLACEMENT OF CONCRETE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF THE UTILITIES. DEVELOPER SHALL BE BILLED FOR ANY MISS UTILITY CHARGES INCURRED BY THE TOWN RELATED TO THIS WORK.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL EXCAVATE TO VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY UTILITIES (CONSTRUCTED AND EXISTING) AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE BEGINNING OF ALL WORK. EXCAVATION, GRADING, LANDSCAPING, ETC., MANHOLES, ETC., TO BE RAISED, LOWERED OR REMOVED, ARE TO BE DONE SO BY THE CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY UTILITY (WHETHER SHOWN OR NOT) DAMAGED DUE TO CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR REPLACING ANY EXISTING FENCES, DRIVEWAYS, ETC., DAMAGED OR REMOVED BY THE CONTRACTOR DURING CONSTRUCTION. ALL OFF-SITE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- PLACEMENT OF ANY CONCRETE OR ASPHALT WORK SUCH AS CURB/GUTTER/SIDEWALKS/DRIVEWAY APRONS, ETC., SHALL BE COMMENCED ONLY AFTER THE INSTALLATION OF ALL UTILITIES INCLUDING GAS LINES/ELECTRICAL LINES/ STREET LIGHT CONDUITS/TELEVISION CABLE/WATER AND SEWER LINES, ETC. ARE IN PLACE.
- ALL EXISTING PAVING DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED IN ACCORDANCE WITH TOWN OF MOUNT AIRY STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF TRAFFIC ON EXISTING ROADS IN ACCORDANCE WITH MUTCD SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN PERMITS FROM THE TOWN OF MOUNT AIRY FOR ALL NECESSARY WORK NOT PERMITTED BY THE OWNER.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE "WORK" SHALL BE STOPPED IMMEDIATELY AND THE ENGINEER NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR THOSE CHANGES.
- DISCREPANCIES FOUND BETWEEN THESE PLANS AND WORK THAT WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION
- AS-BUILT CONTRACT DOCUMENT SET MUST BE MAINTAINED ON SITE THROUGH THE PROJECT. THE AS-BUILT DRAWINGS SHALL SHOW CHANGES TO PUBLIC WATER OR SEWER LINES, PUBLIC STORM DRAINAGE SYSTEMS, SIDEWALKS AND STREETS THAT ARE MAINTAINED BY THE TOWN OF MOUNT AIRY. HORIZONTAL VARIATIONS GREATER THAN 1.0 FOOT AND 0.2 FEET FOR VERTICAL ELEVATIONS SHALL BE SHOWN ON THE PLANS. THE DEVELOPER SHALL SUBMIT ONE SET OF AS-BUILT MYLARS AND ONE SET OF AS-BUILT PRINTS TO THE TOWN WITHIN 90 DAYS OF PROJECT COMPLETION.

SHEET INDEX

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1 OF 11	TITLE SHEET
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5 OF 11	STORMWATER MANAGEMENT/STORM DRAINAGE DETAILS
6 OF 11	STORMWATER MANAGEMENT/STORM DRAINAGE DETAILS
7 OF 11	SEDIMENT CONTROL NOTES & DETAILS AND DRAINAGE AREA MAPS
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CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN COVER SHEET

LOT 18A, SECTION II
LDG RIDGEVILLE LLC
TWIN RIDGE PROFESSIONAL PARK
TAX MAP: 90B, PARCEL 1408 PB 74, PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
FREDERICK COUNTY, MARYLAND
SCALE: AS SHOWN AUGUST 2021

SHEET NO. 1 OF 11

CALL "MISS UTILITY" AT
1-800-257-7777
3 DAYS BEFORE START OF CONSTRUCTION

ENGINEER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT.

RONALD E. THOMPSON
PROFESSIONAL ENGINEER REGISTRATION NO.

CARROLL SOIL CONSERVATION DISTRICT

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT.

BY: _____ DATE: _____

OWNER'S CERTIFICATION

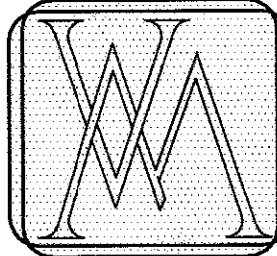
I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE TOWN OF MOUNT AIRY PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE. I/WE AGREE TO REMBURSE THE TOWN OF MOUNT AIRY ITS REASONABLE ATTORNEY'S FEES AND COSTS INCURRED TO SUCCESSFULLY ENFORCE THIS SITE PLAN, INCLUDING THROUGH LITIGATION.

NAME(S) PRINTED _____ DATE _____
SIGNED _____

DEVELOPER

I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPECIFIED OUT IN THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT MARYLAND DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES.

NAME(S) PRINTED _____ DATE _____
SIGNED _____



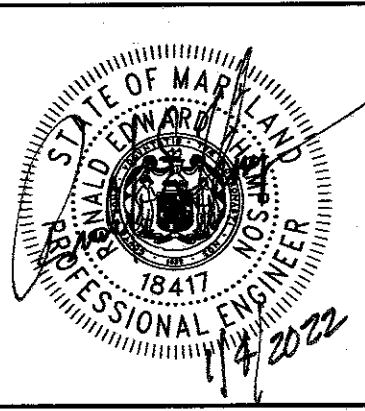
VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street P.O. Box 328
Mount Airy, Maryland 21771
(301) 829 2890 (301)831 5015 (410) 549 2751

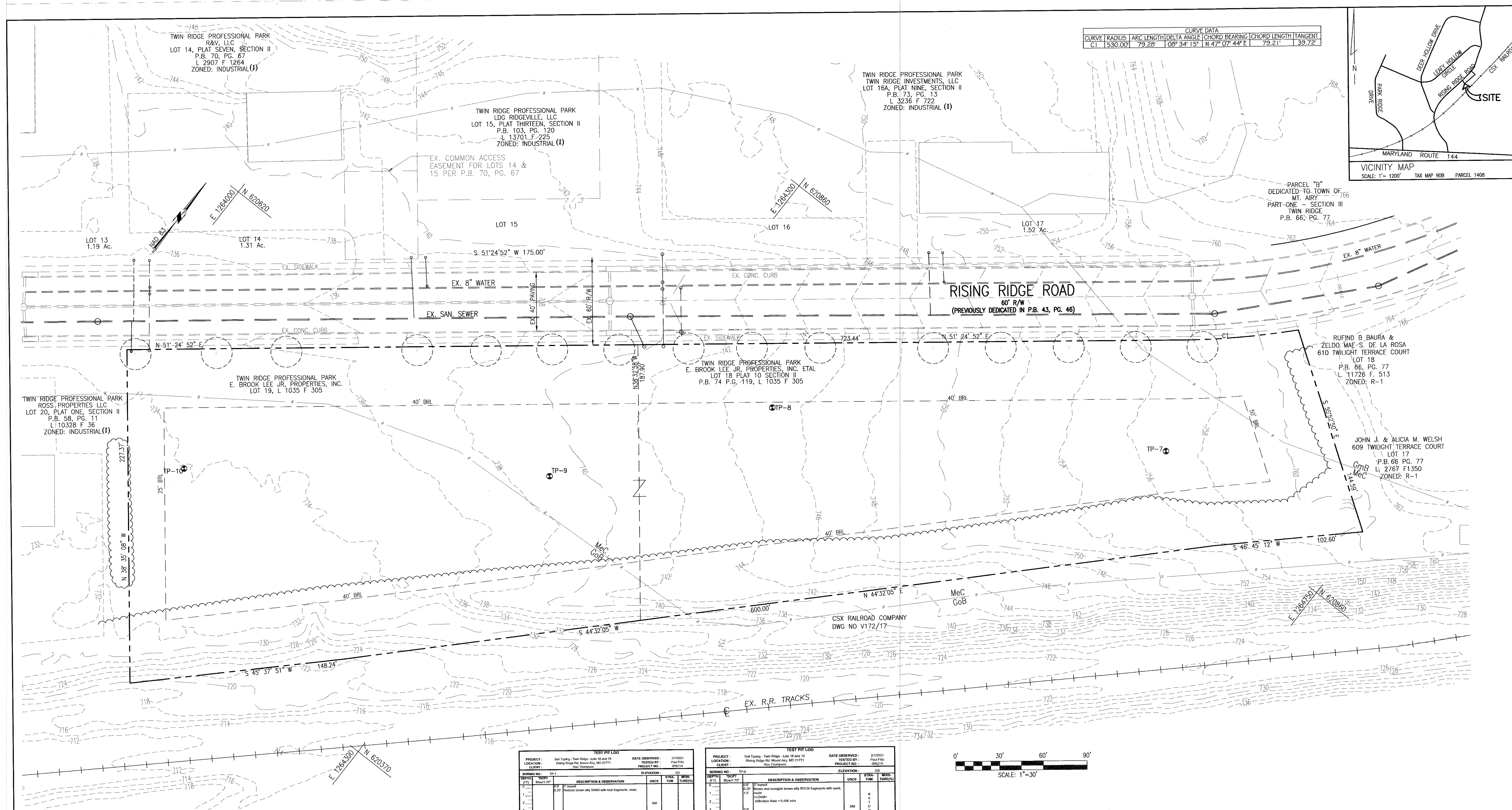
PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.

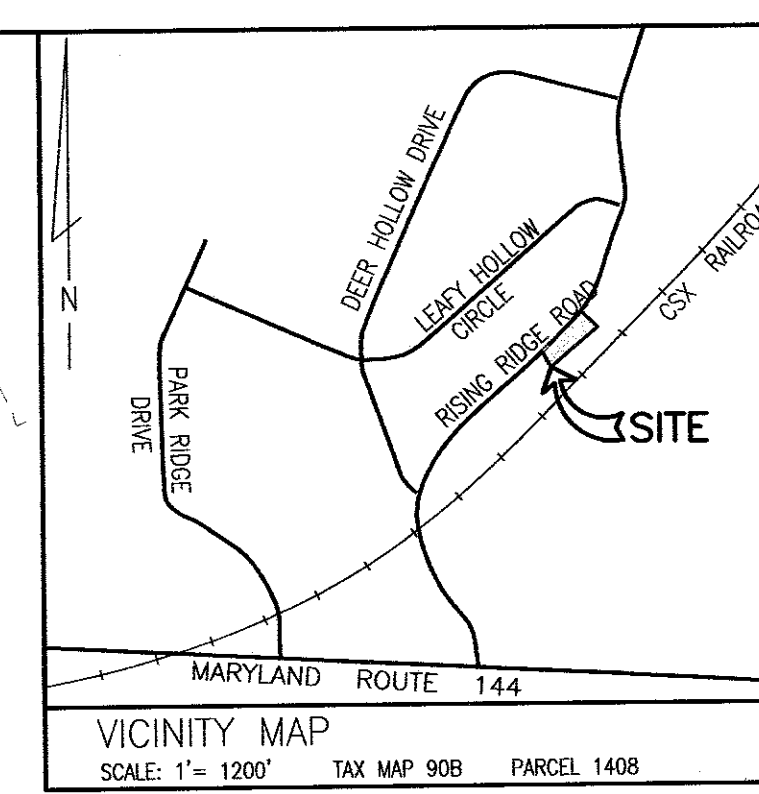
REVISIONS

DATE	REVISIONS
9/28/2021	TOWN & COUNTY COMMENTS
1/3/2022	TOWN COMMENTS





CURVE DATA					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH TANGENT
C1	530.00'	79.28'	08° 34' 15"	N 47° 07' 44" E	79.21' 39.72'



TWIN RIDGE PROFESSIONAL PARK
ROSS PROPERTIES LLC
LOT 20, PLAT ONE, SECTION II
P.B. 58, PG. 11
L 110328 F 36
ZONED: INDUSTRIAL (I)

TWIN RIDGE PROFESSIONAL PARK
R&V, LLC
LOT 14, PLAT SEVEN, SECTION II
P.B. 70, PG. 67
L 2907 F 1264
ZONED: INDUSTRIAL (I)

TWIN RIDGE PROFESSIONAL PARK
LDG RIDGEVILLE, LLC
LOT 15, PLAT THIRTEEN, SECTION II
P.B. 103, PG. 120
L 13701 F 225
ZONED: INDUSTRIAL (I)

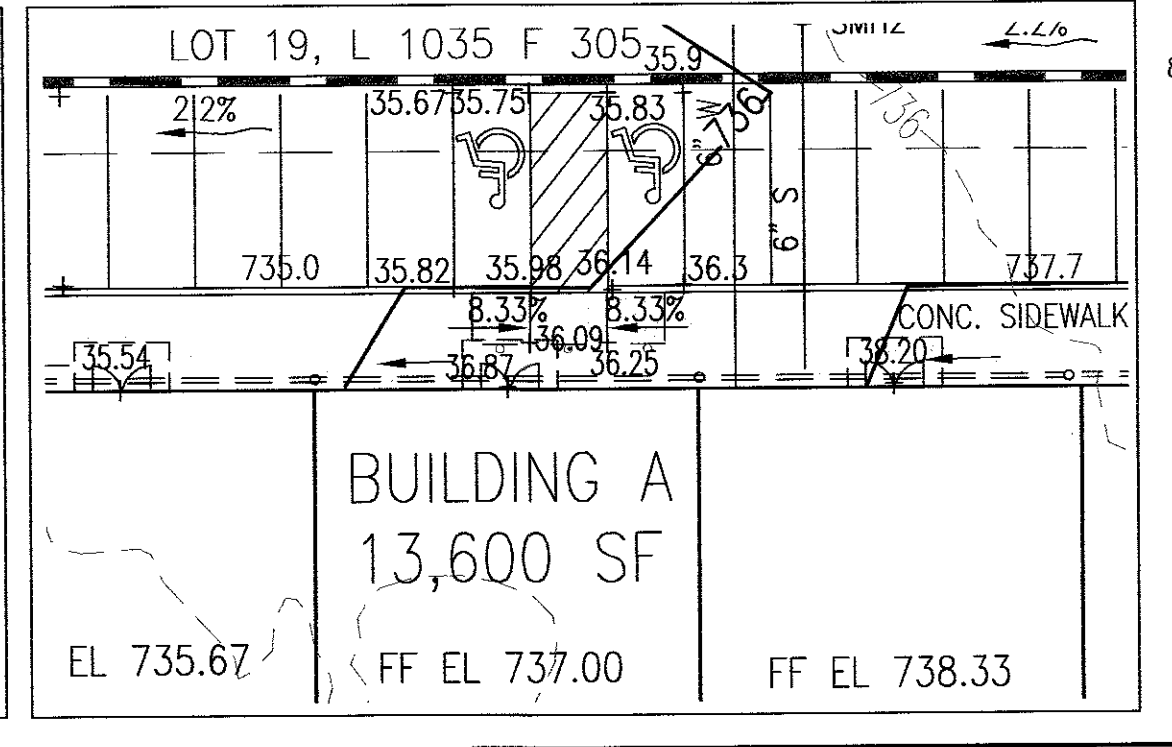
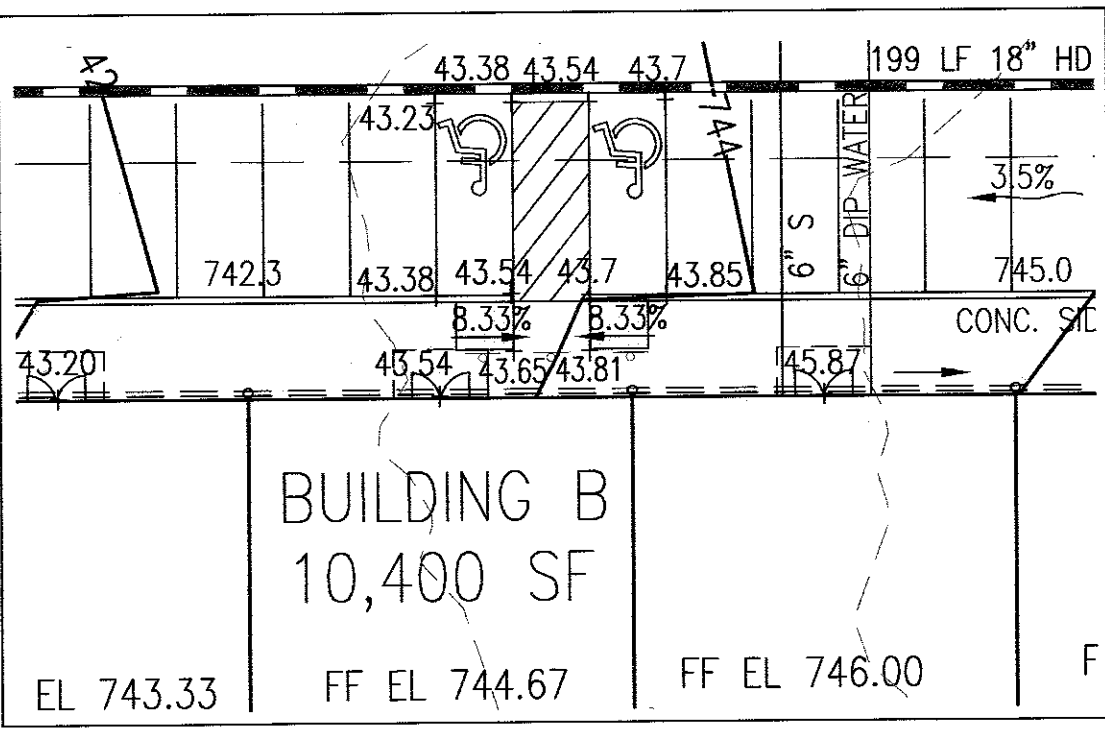
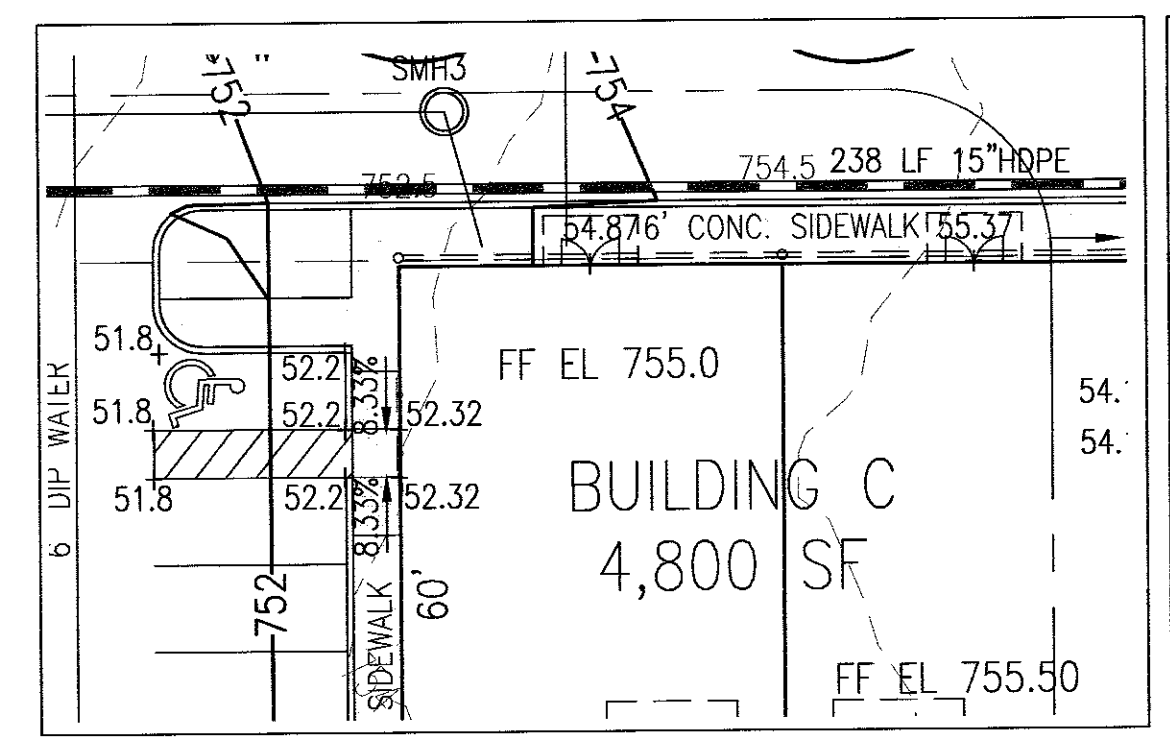
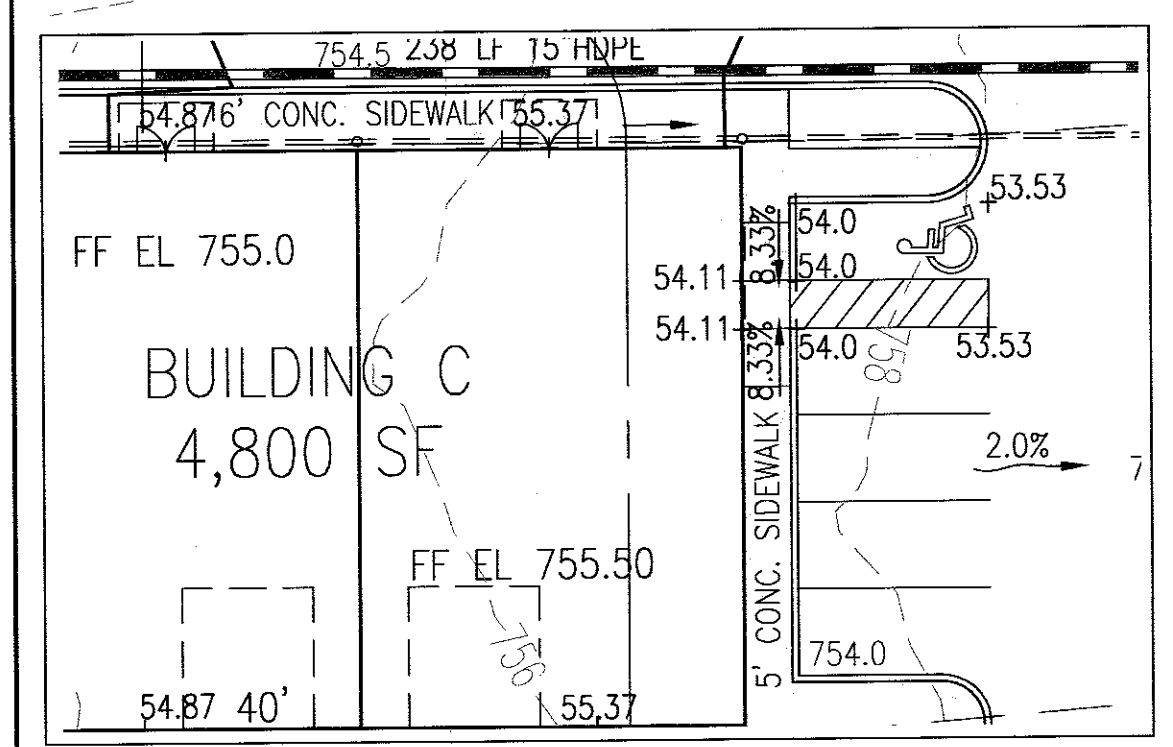
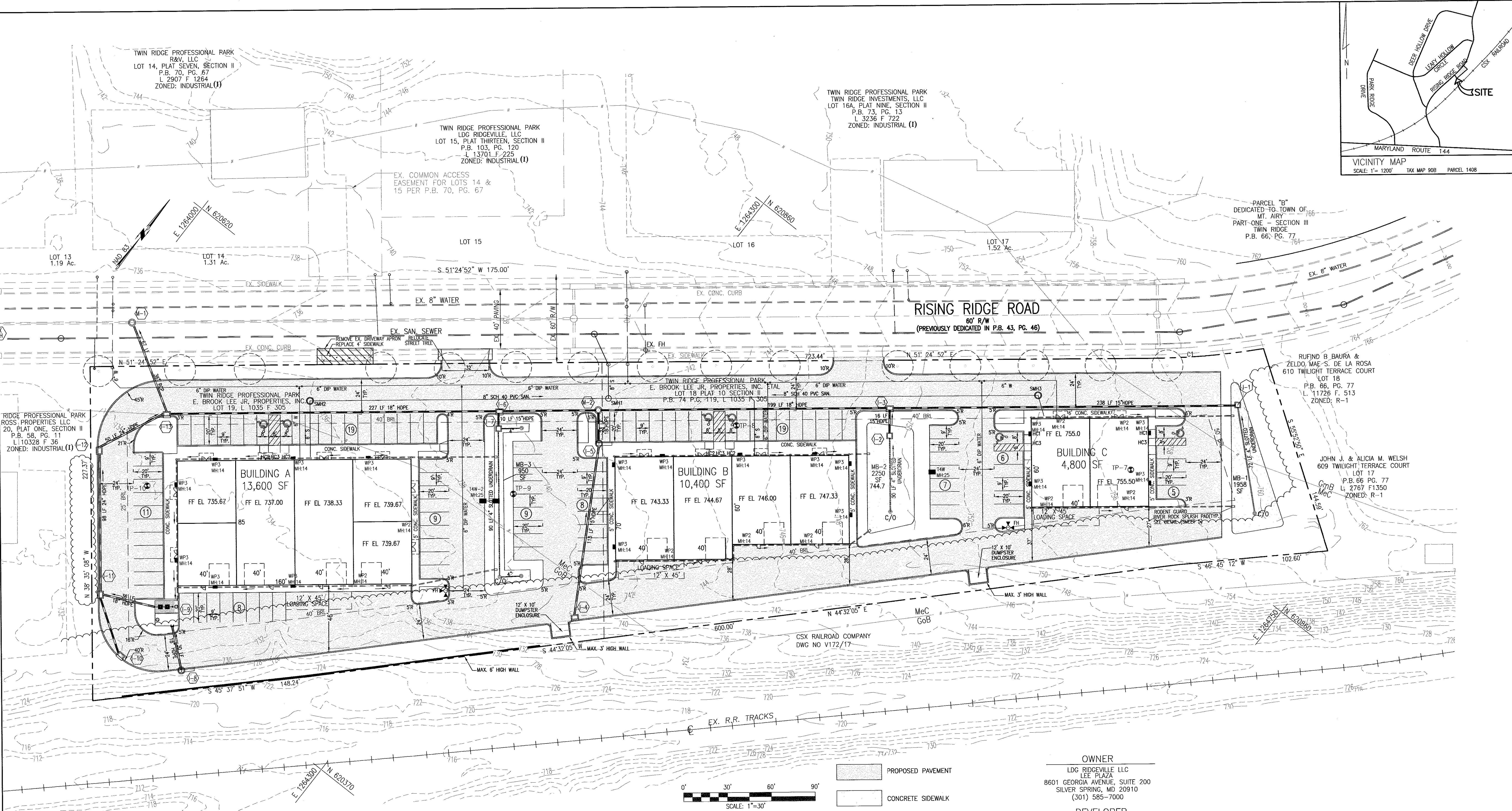
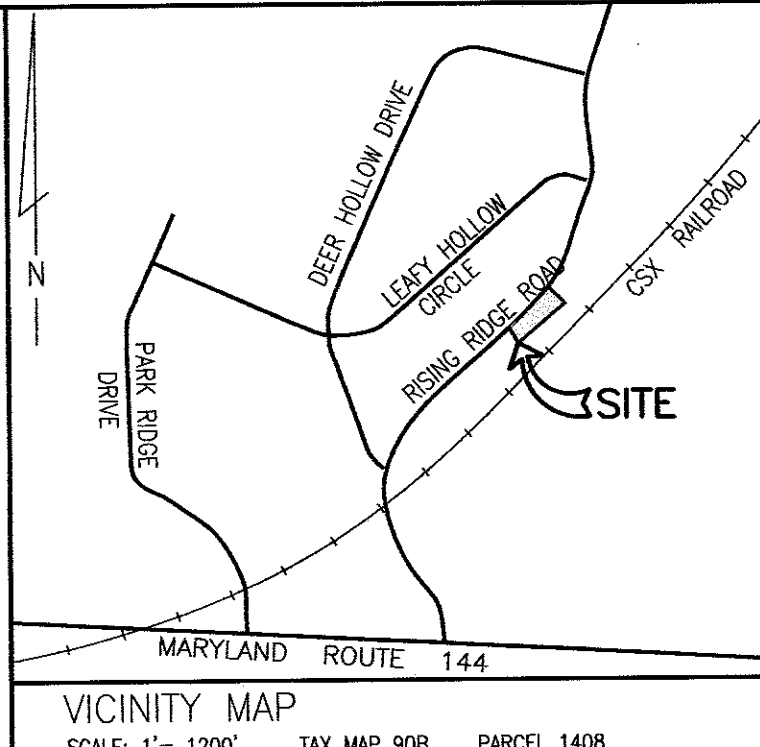
TWIN RIDGE PROFESSIONAL PARK
TWIN RIDGE INVESTMENTS, LLC
LOT 16A, PLAT NINE, SECTION II
P.B. 73, PG. 13
L 3236 F 722
ZONED: INDUSTRIAL (I)

TWIN RIDGE PROFESSIONAL PARK
E. BROOK LEE JR. PROPERTIES, INC. ETAL
LOT 18 PLAT 10 SECTION II
P.B. 74 P.G. 119, L 1035 F 305

RUFIND B BAURA &
ZELDO MAE S. DE LA ROSA
610 TWILIGHT TERRACE COURT
LOT 18
P.B. 66, PG. 77
L 11726 F. 513
ZONED: R-1

JOHN J. & ALICIA M. WELSH
609 TWILIGHT TERRACE COURT
LOT 17
P.B. 66 PG. 77
L 2767 F1350
ZONED: R-1

TEST PIT LOG					
PROJECT: Soil Typing - Twin Ridge, Lots 18 and 19			DATE OBSERVED: 2/10/2021		TESTED BY: Paul Fritz
LOCATION: Rising Ridge Rd, Mount Airy, MD 21771			PROJECT NO.: 09051A		CLIENT: Hillis-Carnes Engineering Associates, Inc.
BORING NO. TP-7					
DEPTH (ft)	SOIL TYPE	DESCRIPTION & OBSERVATION	USCS	STR. TUN	MOIS. TUN
0.00	0.25	0.50	1.00	1.50	2.00
1	2	3	4	5	6
7.00	8.00	9.00	10.00	11.00	12.00
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
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1183	1184	1185	1186	1187	1188
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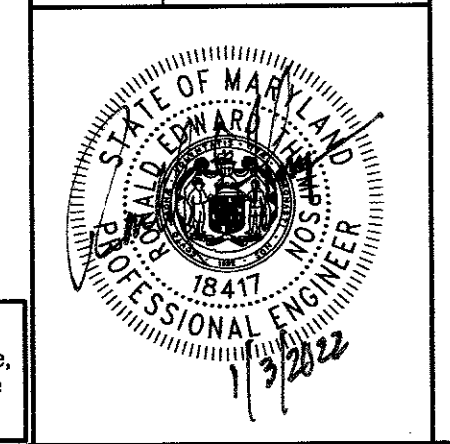
ACCESSIBLE ROUTE DESIGN INSETS
SEE SHT. 8 FOR ADA RAMP AND SIGN DETAILS
SCALE: 1"=20'

PROPOSED PAVEMENT
CONCRETE SIDEWALK

OWNER
LDG RIDGEVILLE LLC
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

DEVELOPER
LDG INC.
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

DATE	REVISIONS



CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN
SITE LAYOUT AND UTILITY PLAN

LOT 18A, SECTION II

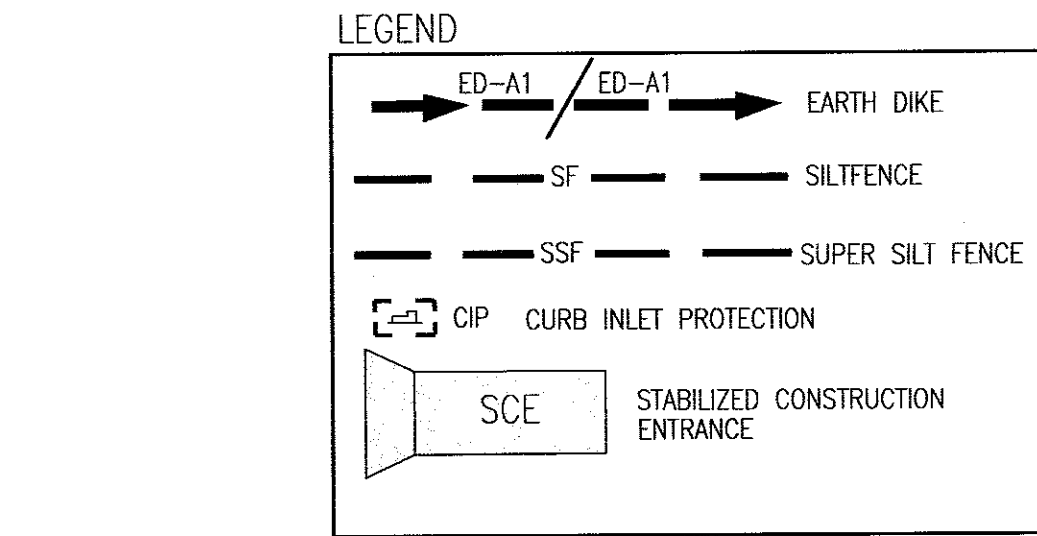
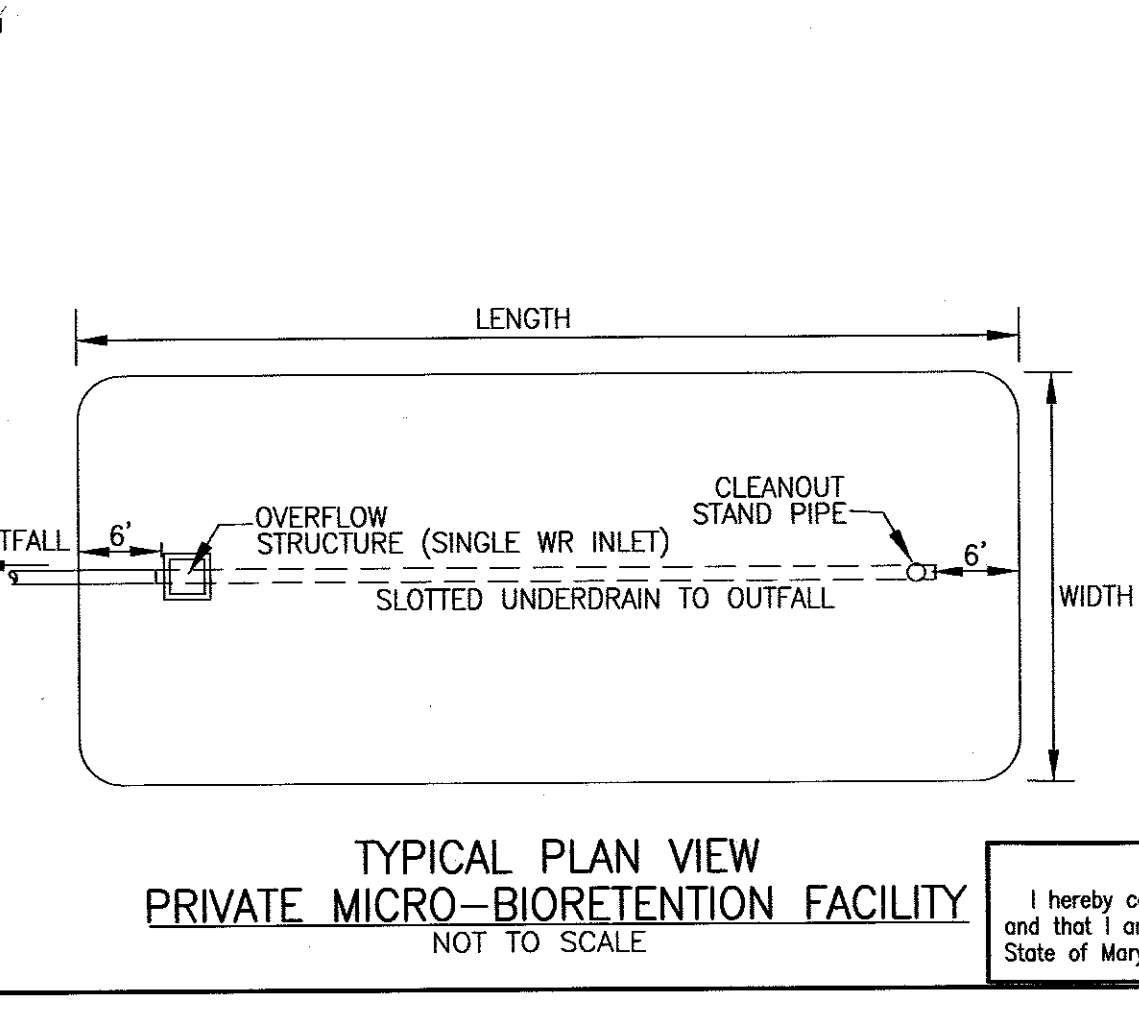
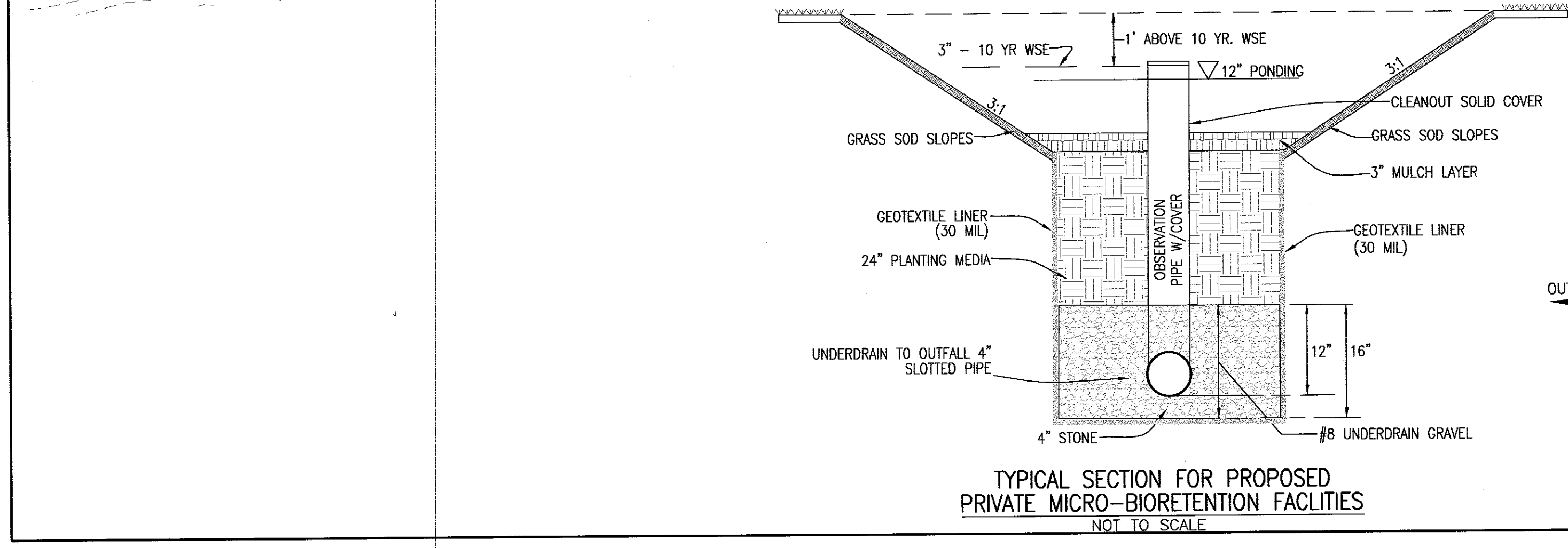
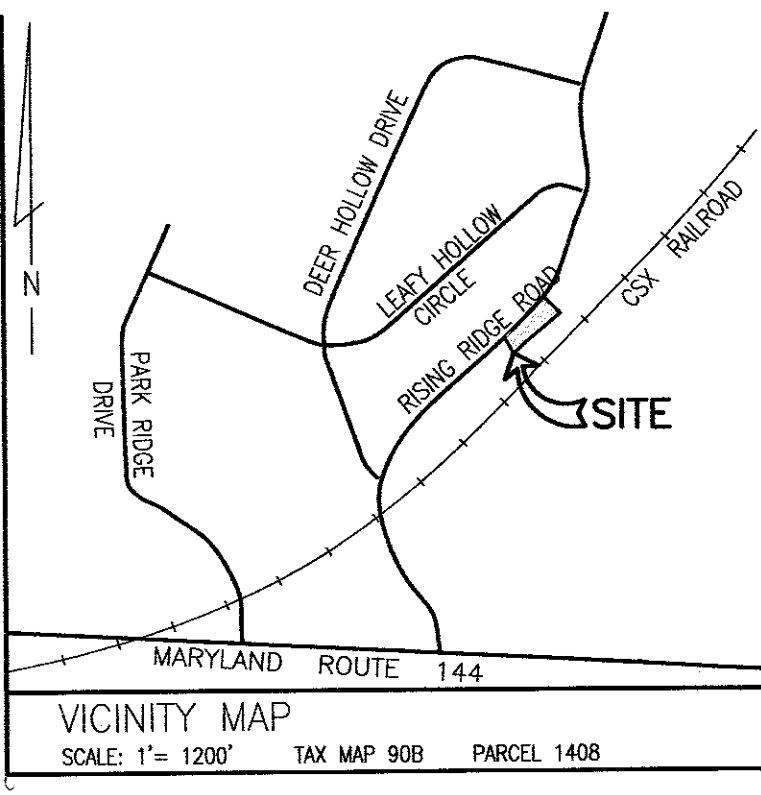
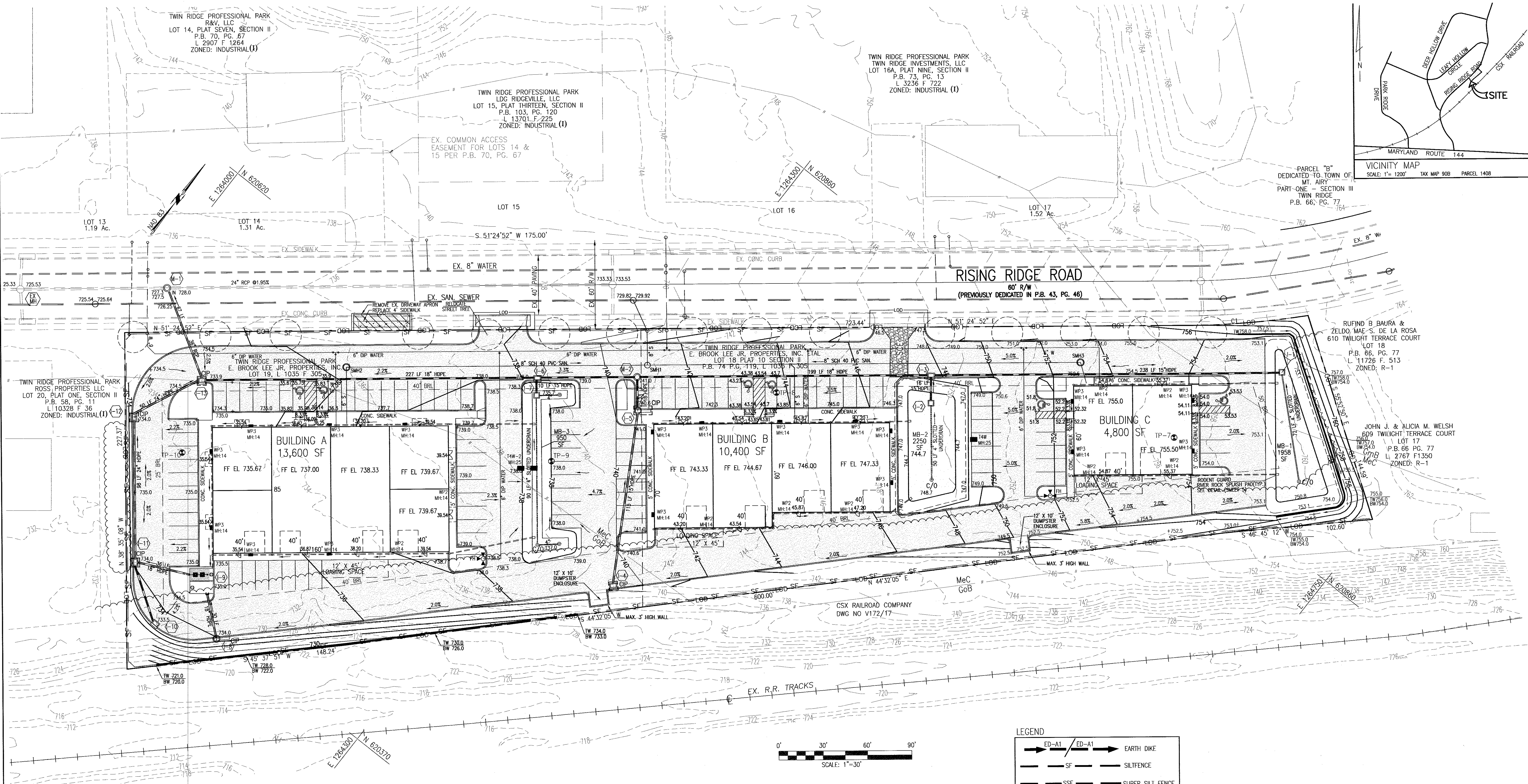
TWIN RIDGE PROFESSIONAL PARK
TAX MAP: 900, PARCEL 1408 PB 74, PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
CARROLL COUNTY, MARYLAND
SCALE: AS SHOWN MAY 2021

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

SHEET NO. 3 OF 11

VMA# 251-569

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me,
and that I am a duly licensed professional engineer under the laws of the
State of Maryland, License No. 19417, Expiration Date: 9/18/23.



OWNER
LDG RIDGEVILLE, LLC
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

DEVELOPER
LDG INC.
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.

CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN

STORMWATER MANAGEMENT, GRADING, & SEDIMENT CONTROL

LOT 18A, SECTION II

TWIN RIDGE PROFESSIONAL PARK

TAX MAP: 900, PARCEL 1408 PB 74, PG.119

SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY

18TH ELECTION DISTRICT

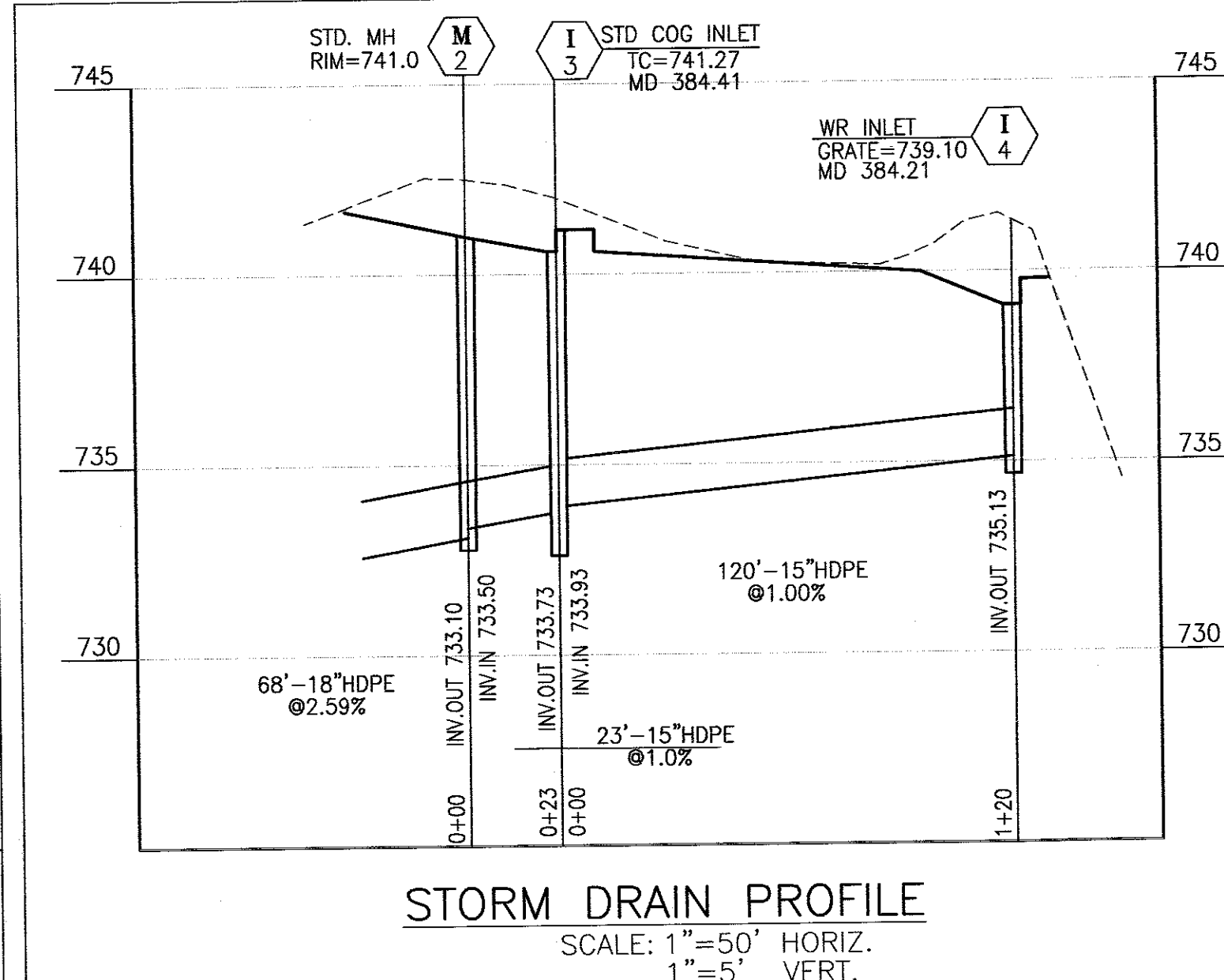
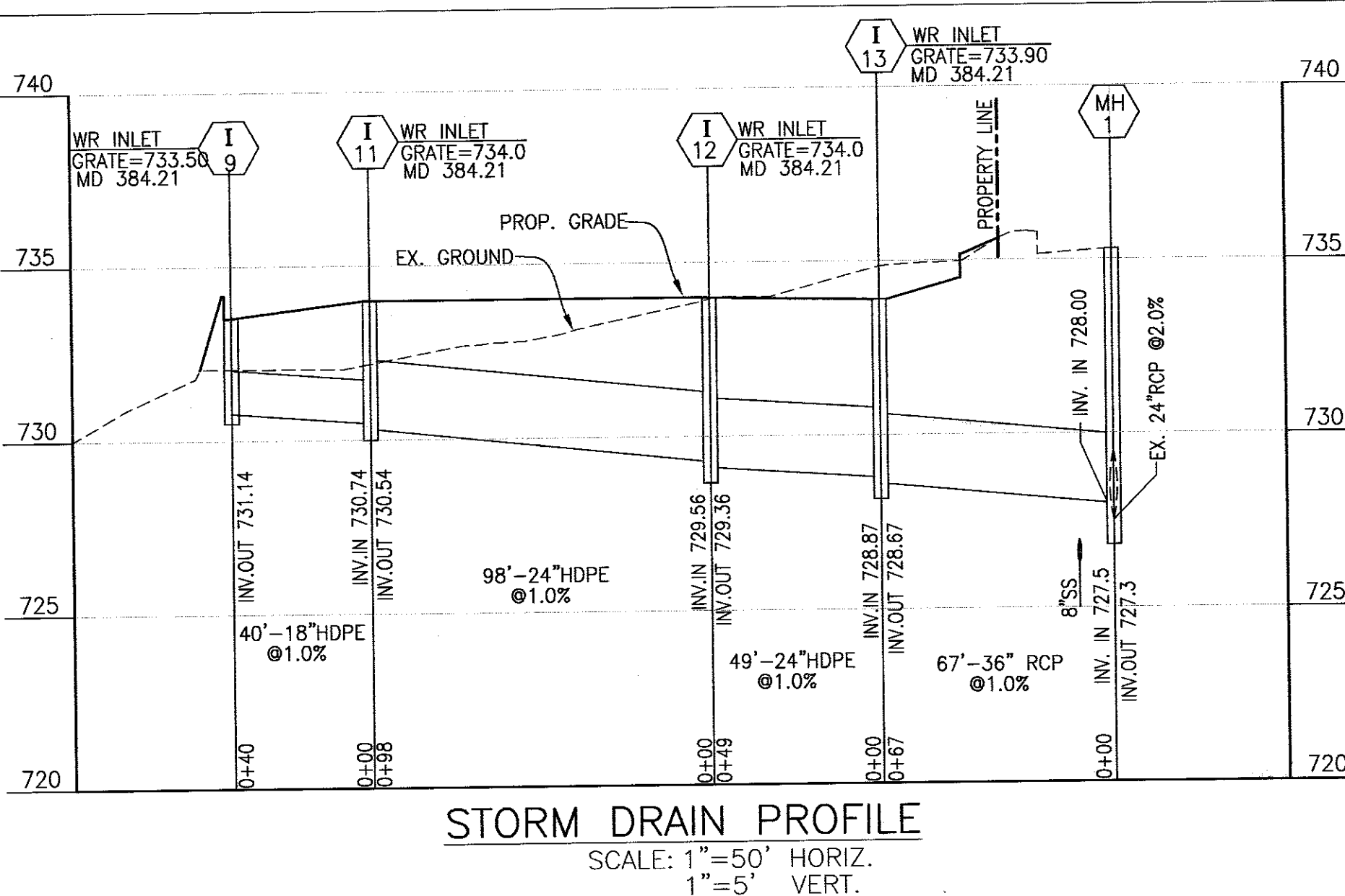
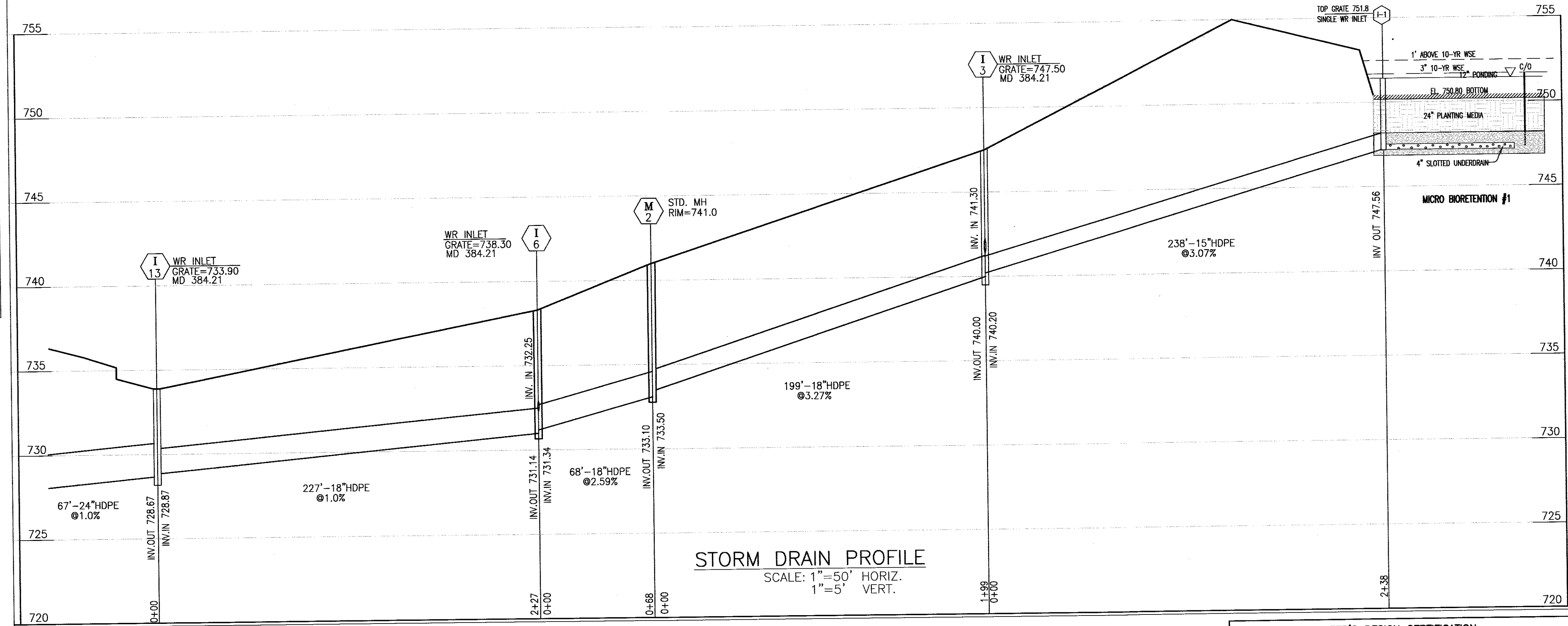
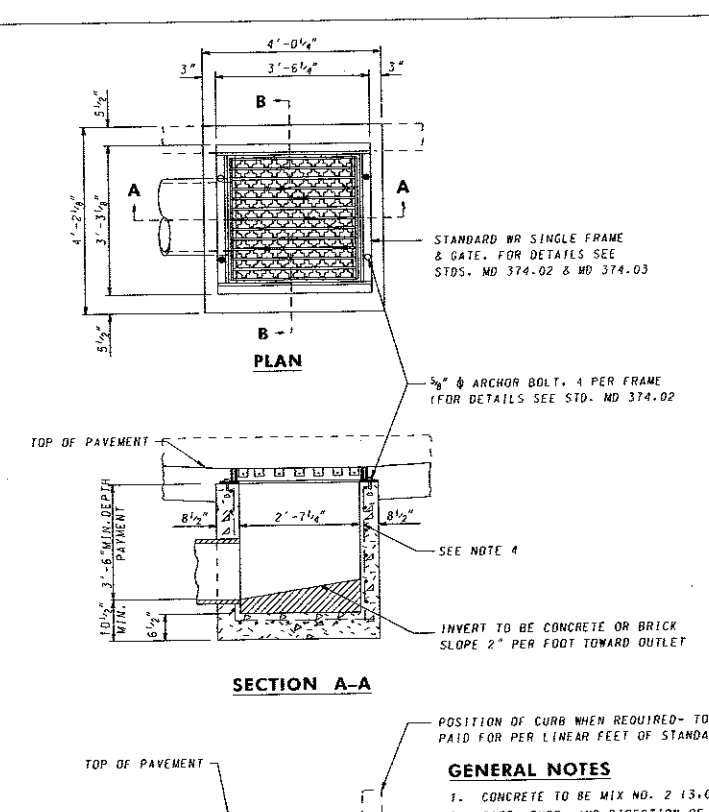
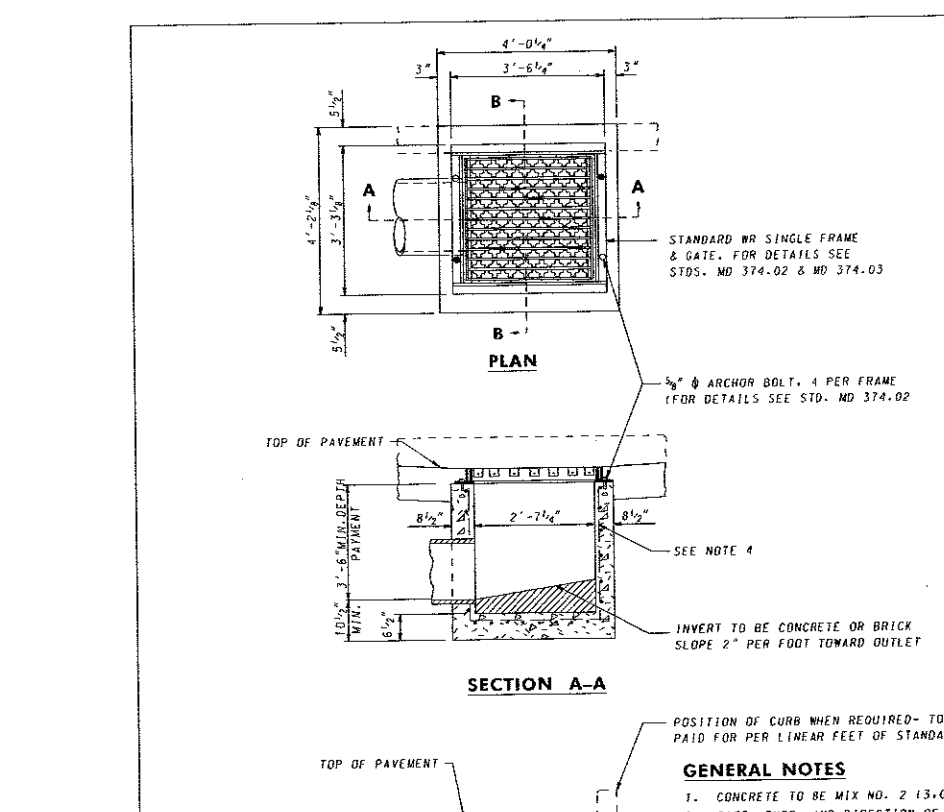
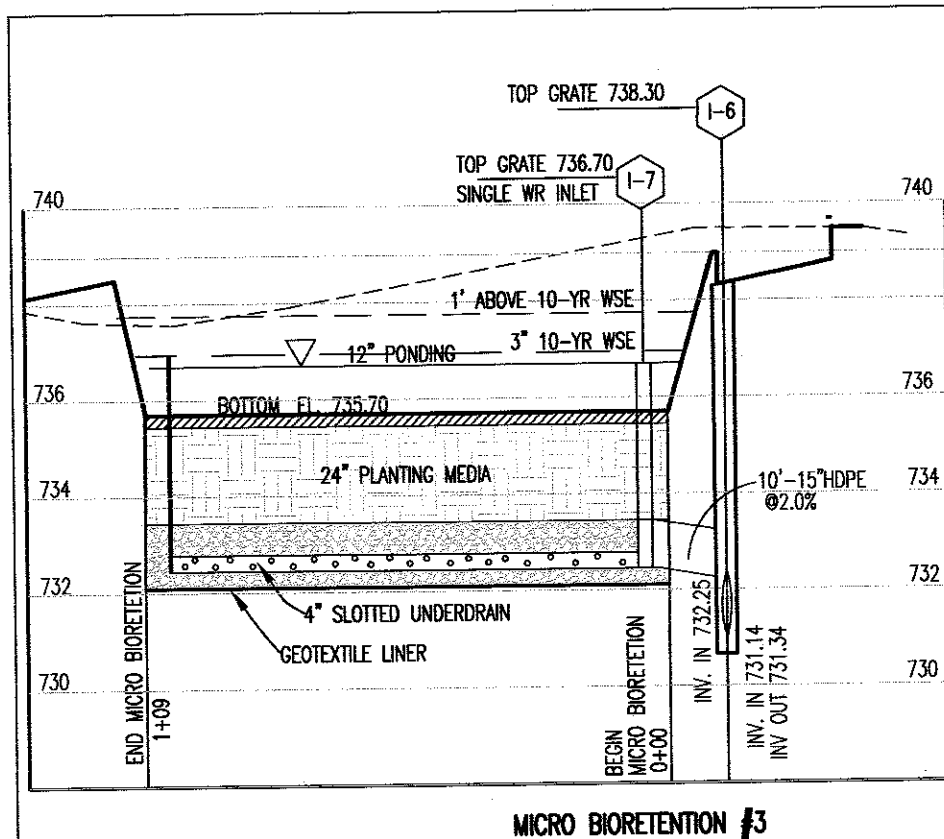
CARROLL COUNTY, MARYLAND

SCALE: AS SHOWN MAY 2021

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

SHEET NO. 4 OF 11

Q:\mtd\030331-589 Twin Ridge\030331-589 Twin Ridge\CONCEPT LOT 18A-19\CONCEPT PLAN LOT 18 & 19.dwg, 13/02/2022 2:28:32 PM, LP Design\1750g-44in RPL2.dwg



DIMENSIONS IN INCHES					
CATALOG NO.	GRATE OVERALL	GRATE TO SIZE	FRAME OVERALL	HEIGHT GRATE	HEIGHT FRAME
R-4345	26 X 26	12 X 12	—	6 $\frac{1}{4}$	—
R-4346	26 X 26	12 X 12	30 X 30	6 $\frac{1}{4}$	4
R-4347	27 $\frac{5}{8}$ X 27 $\frac{5}{8}$	12 X 12	—	6 $\frac{1}{4}$	—



SIGNATURE 305	CATEGORY CODE (ITEM)	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
APPROVED		
SPECIFIC - OFFICE OF STATE DEVELOPMENT		
APPROVAL - SVA PERIODIC	APPROVAL - FEDERAL HIGHWAY ADMINISTRATION	
DATED: 8-7-79	PERIODIC: 1-2-79	
REVISED: 10-31-81	REVISED: 9-26-88	
APPROVED: 8-24-84	REVISED: 9-7-84	SINGLE WR INLET STANDARD NO. MD 374.06

MICRO-BIORETENTION INSPECTION CHART		FACILITY #1		FACILITY #2		FACILITY #3	
		INSPECTION DATE	APPROVAL DATE	INSPECTION DATE	APPROVAL DATE	INSPECTION DATE	APPROVAL DATE
1.	PROVIDE 2" GRASS ABOVE SWM FACILITY BEFORE CONSTRUCTION ON MICRO-BIORETENSION FACILITIES.						
2.	EXCAVATE SWM FACILITY AS PER DIMENSION AND ELEVATION AS SHOWN ON THE PLAN.						
3.	INSTALL GEOSYNTHETIC LINER/SIDES ONLY						
4.	INSTALL UNDERDRAIN & STONE.						
5.	INSTALL PLANTING MEDIA.						
6.	INSTALL PLANTING.						
7.	ENGINEER SHALL SUBMIT THE AS-BUILT CERTIFICATION WITHIN 60 DAYS OF COMPLETION.						

CONTACT RONALD E. THOMPSON, PE @ VANMAR ASSOCIATES, INC.
(301-829-2890) 24 HOURS PRIOR TO START OF CONSTRUCTION.

Diagram illustrating the structure and dimensions for an anti-floatation concrete slab, specifically for cleanouts. The diagram shows a cross-section of the slab with an overflow pipe. The slab is 13" wide and 12" deep. The top of the slab is covered with a stone invert. A 1/2" diameter rebar is shown extending 4" into the slab from the top. The bottom of the slab is labeled 'ANTI-FLOATATION CONCRETE SLAB'.

STRUCTURE	WIDTH	LENGTH	DEPTH
CLEANOUTS	13"	13"	12"

MICRO-BIORETENTION FACILITY DIMENSIONS									
FACILITY #	SURFACE AREA	PLANTING SOIL DEPTH	DEPTH INVERT *	STONE INVERT	TOP MULCH ELEV.	TOP BERM ELEV.	1' PONDING WSE	10-YR. WSE	INLET ELEV.
1	1,950 sf	24"	747.56	747.22	750.80	754.0	751.8	752.05(+3")	751.8
2	2,250 sf	24"	741.46	741.12	744.70	748.0	745.7	745.95(+3")	745.7
3	950 sf	24"	739.46	739.12	735.70	738.5	736.7	736.95(+3")	736.7

*DEPTH OF FACILITY FROM TOP OF MULCH TO INVERT 4" UNDERDRAIN
**DEPTH OF STONE BELOW UNDERDRAIN

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 4.2.

B. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.

C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.

D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER AND AFTER EACH HEAVY STORM.

NOTES:

1. THE UNDERDRAIN, WHERE IT DISCHARGES ONTO THE GROUND, MUST HAVE A RODENT GUARD AND A RIVER ROCK SPLASH PAD TO PROTECT THE OUTFALL

ENGINEER'S DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO CHAPTER 151 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY, AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

RONALD E. THOMPSON, P.E. DATE 1/4/2022
LICENSE NO. (SEAL NO.) 18417 EXPIRATION DATE 9/18/21

ENGINEER'S "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY/FACILITIES SHOWN ON THIS/THESE PLAN(S) WAS/WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT THIS/THESE FACILITIES WERE INSPECTED IN ACCORDANCE WITH SECTIONS § 151.095 AND § 151.096 OF THE CODE OF PUBLIC LOCAL LAWS AND ORDINANCES OF CARROLL COUNTY AND I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A FULL LICENSED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE _____
RONALD E. THOMPSON, P.E.
LICENSE NO. (GEN. NO.) 18417 EXPIRATION DATE 9/18/21

OWNER/DEVELOPER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SURVEYOR, REGISTERED PROFESSIONAL ENGINEER, REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY/FACILITIES. I/WE ALSO CERTIFY THAT THIS/THESE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR, AS APPROPRIATE, IN ACCORDANCE WITH SECTIONS 151.001 AND 151.008 OF THE CODE OF PUBLIC LOCAL LAWS, CITY OF CHICAGO, AND THE CHICAGO ZONING ORDINANCES.

SIGNED _____ DATE _____
OWNER/DEVELOPER

CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN

STORM WATER MANAGEMENT/STORM DRAINAGE DETAILS

LOT 18A. SECTION II

TWIN RIDGE PROFESSIONAL PARK

TAX MAP: 90D, PARCEL 1408 PB 74. PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
CARROLL COUNTY, MARYLAND
SCALE: AS SHOWN MAY 2021

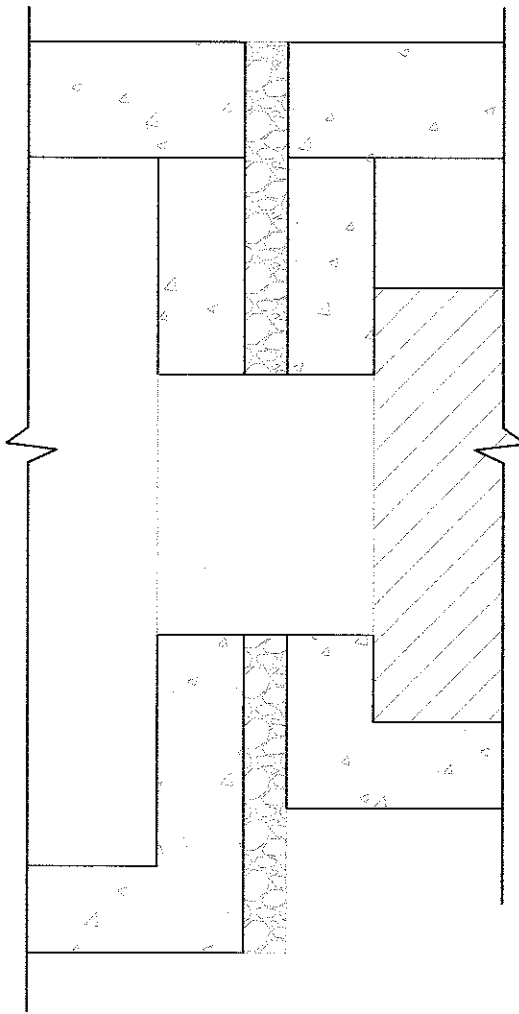
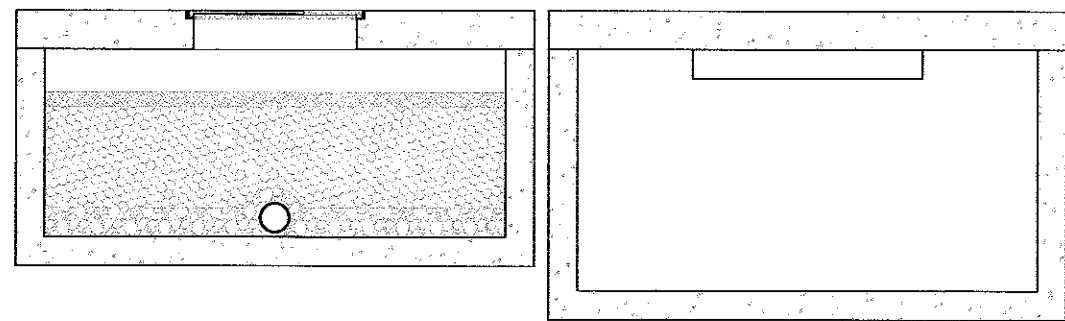
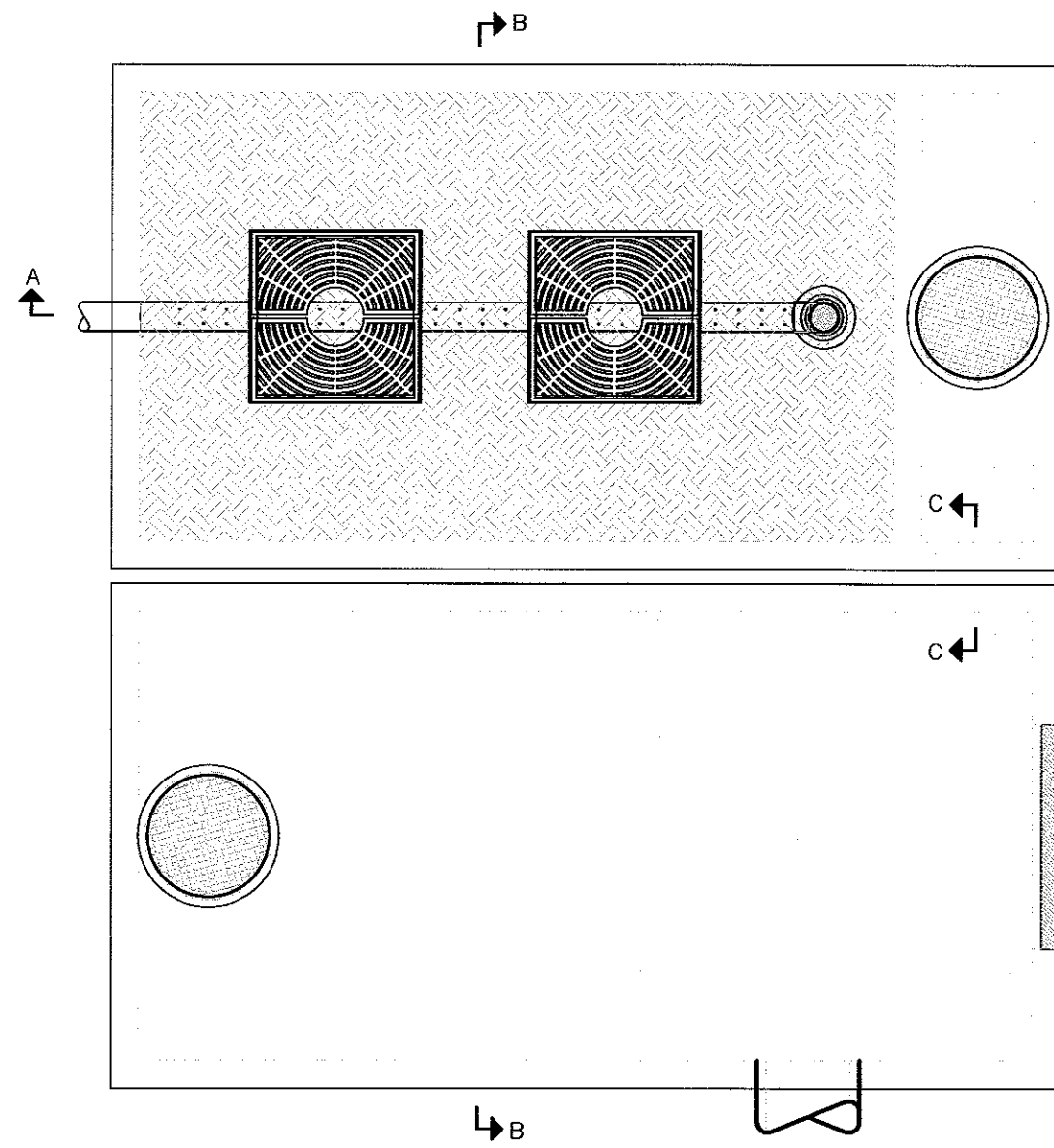
VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5515 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Show

SHEET NO. 5 OF 11

*SEE SHEET 7 FOR DRAINAGE AREA MAP

VMA# 251-569

HP DesignJet T790ps 44in HPGL2.pc3



CONTRACTOR IS TO VERIFY THAT ALL INFORMATION SHOWN ON DRAWINGS HAS BEEN THOROUGHLY CHECKED, COMPLIES WITH THE CONTRACT DOCUMENTS, AND IS ADEQUATE TO MEET THE FIELD CONDITIONS.
NOTE: PRODUCTION WILL NOT COMMENCE UNTIL RECEIPT OF SIGNED APPROVED SHOP DRAWINGS.

- STRUCTURE DESIGN SPECIFICATIONS:
- PRECAST CONCRETE MINIMUM (28-DAY) STRENGTH 5000 PSI.
 - REINFORCING BARS CONFORMING TO ASTM A 615 (FY=60 KSI).
 - DESIGN LOAD: AASHTO HS-20
 - STRUCTURE DESIGN TO MEET ACI 318.

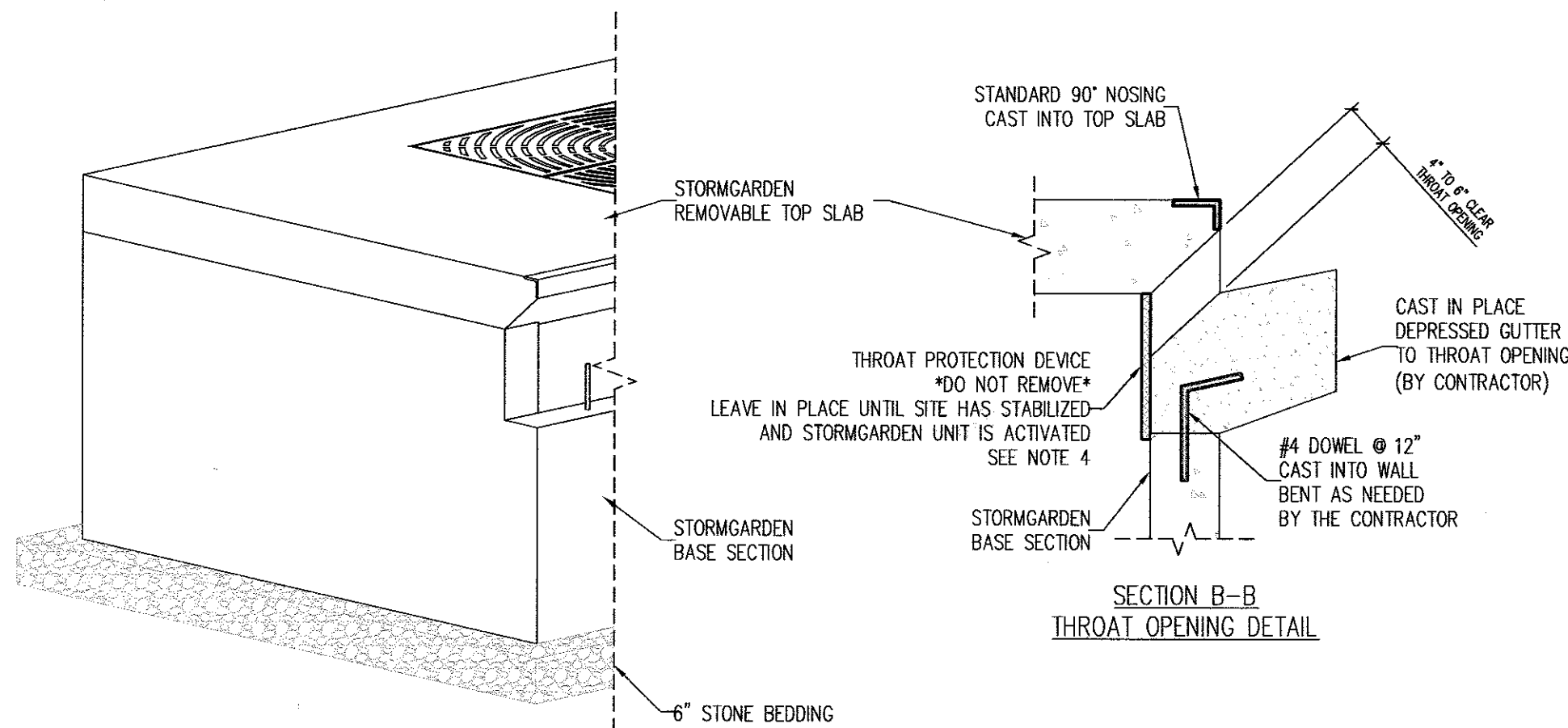
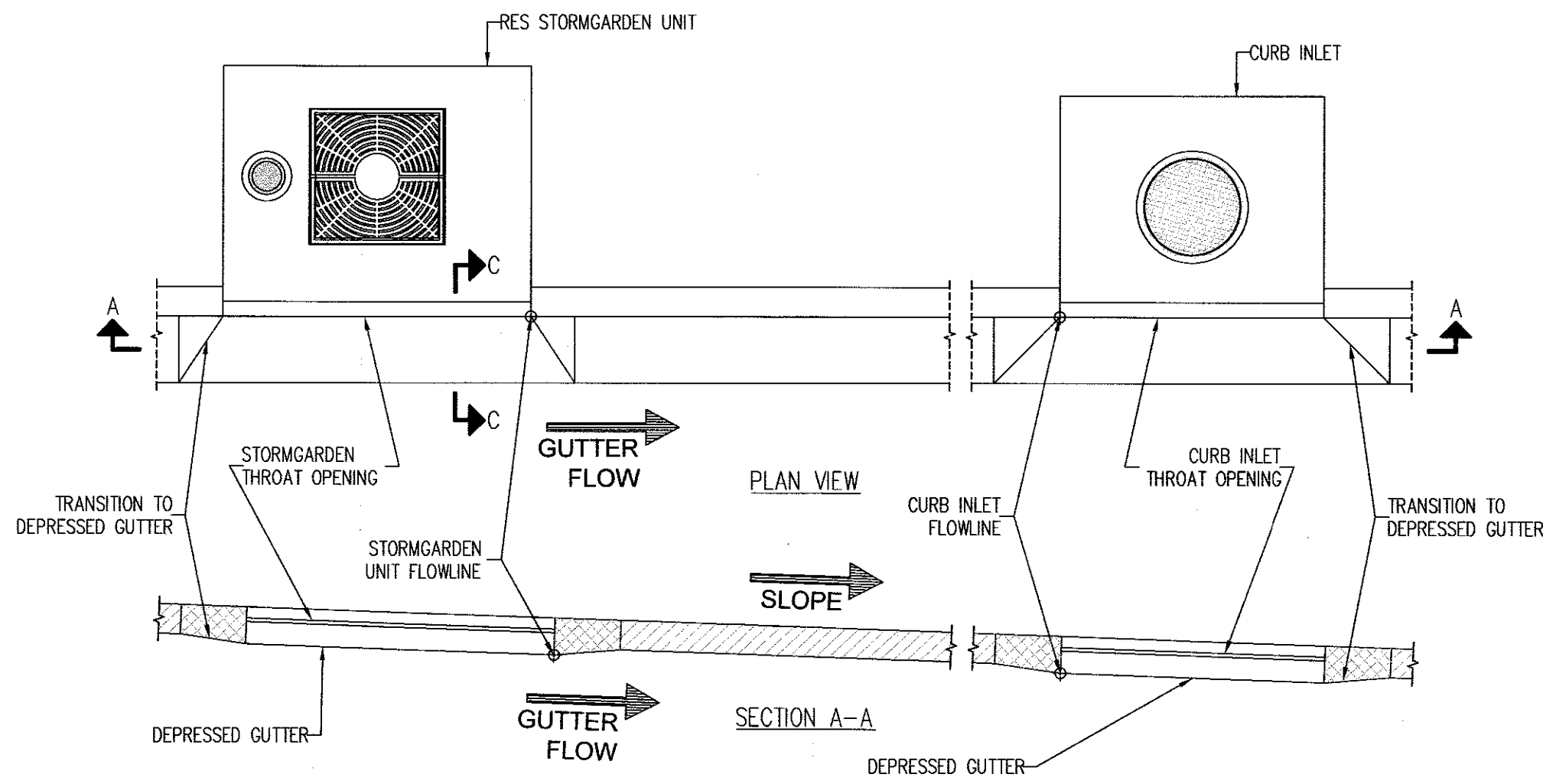
CONSTRUCTION NOTES:

- CONTRACTOR TO GROUT WITH NON-SHRINK GROUT (MINIMUM 3,000 PSI COMPRESSIVE STRENGTH) BENEATH TOP SLAB TO MATCH FINISHED GRADES.

CONSTRUCTION & INSTALLATION

- DO NOT PLACE IN A SUMP CONDITION. THE STORMGARDEN SYSTEM CANNOT BE USED AS A STANDALONE INLET AND THEREFORE WILL NEED AN EFFECTIVE BYPASS DURING HIGHER INTENSITY RAINFALL EVENTS. REFER TO ATTACHED DETAIL FOR GRADING & CUTTER FLOW DETAILS. TO TEST A PROPOSED LOCATION, IMAGINE THE STORMGARDEN THROAT IS COMPLETELY BLOCKED (SO IT WOULD ACT LIKE A TYPICAL CURB AND GUTTER). IF THIS RESULTS IN ANY PONDING OR POOLING OF DRAINAGE, THE PLACEMENT IS INAPPROPRIATE. IF THE DRAINAGE CONTINUES TO FLOW BY THIS BLOCKED STORMGARDEN THROAT TO THE BYPASS INLET (OR OTHER RELIEF) WITHOUT ANY PONDING OR POOLING, THE PLACEMENT IS APPROPRIATE.
- EACH UNIT SHALL BE CONSTRUCTED AT THE LOCATIONS AND ELEVATIONS ACCORDING TO THE SIZES SHOWN ON THE APPROVED DRAWINGS. ANY MODIFICATIONS TO THE ELEVATION OR LOCATION SHALL BE AT THE DISCRETION OF AND APPROVED BY THE ENGINEER.
- THE UNIT SHALL BE PLACED ON THE COMPACTED SUB-GRADE WITH A MINIMUM 6-INCH GRAVEL BASE MATCHING THE FINAL GRADE OF THE CURB LINE IN THE AREA OF THE UNIT. THE UNIT IS TO BE PLACED SUCH THAT THE UNIT AND TOP SLAB MATCH THE GRADE OF THE CURB IN THE AREA OF THE UNIT. COMPACT UNDISTURBED SUB-GRADE MATERIALS TO 95% OF MAXIMUM DENSITY AT +1% TO 2% OF THE OPTIMUM MOISTURE. UNSUITABLE MATERIAL BELOW SUB-GRADE SHALL BE REPLACED TO SITE ENGINEER'S APPROVAL. CONTACT ROTONDO ENVIRONMENTAL SOLUTIONS, LLC FOR GUIDANCE WHERE SLOPE EXCEEDS 5%.
- ONCE THE UNIT IS SET, THE INTERNAL WOODEN FORMS AND PROTECTIVE SILT FABRIC COVER MUST BE LEFT INTACT. THE TOP LID SHOULD BE SEALED ONTO THE BOX SECTION BEFORE BACKFILLING, USING A NON-SHRINK GROUT, BUTYL RUBBER OR SIMILAR WATERPROOF SEAL. THE BOARDS ON THE TOP OF THE LID AND BOARDS SEALED IN THE UNIT'S THROAT MUST NOT BE REMOVED. IN ORDER TO PREVENT FLOW FROM ENTERING THE DEVICE PRIOR TO ACTIVATION, THE THROAT PROTECTION DEVICE SHALL BLOCK THE ENTIRE EXTENTS OF THE CURB THROAT OPENING. THE ROTONDO ENVIRONMENTAL SOLUTIONS, LLC WILL REMOVE THESE SECTIONS AT THE TIME OF ACTIVATION.
- OUTLET CONNECTIONS SHALL BE ALIGNED AND SEALED TO MEET THE APPROVED DRAWINGS WITH MODIFICATIONS NECESSARY TO MEET SITE CONDITIONS AND LOCAL REGULATIONS. THE CORRECT OUTLET WILL BE MARKED ON THE STORMGARDEN BOX. DO NOT USE PLUGGED COUPLINGS MARKED "USE OTHER CONNECTION".
- BACKFILLING SHOULD BE PERFORMED IN A CAREFUL MANNER, BRINGING THE APPROPRIATE FILL MATERIAL UP IN 6" LIFTS ON ALL SIDES. PRECAST SECTIONS SHALL BE SET IN A MANNER THAT WILL RESULT IN A WATERTIGHT JOINT. IN ALL INSTANCES, INSTALLATION OF THE STORMGARDEN UNIT SHALL CONFORM TO ASTM SPECIFICATION C891 STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES UNLESS SPECIFIED OTHERWISE IN CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CURB AND GUTTER AND TRANSITION TO THE STORMGARDEN UNIT FOR PROPER STORMWATER FLOW INTO THE SYSTEM THROUGH THE THROAT OPENING (SEE ATTACHED DETAILS). HOWEVER, THE PLANS AND CONTRACT DOCUMENTS SUPERSEDE ALL STANDARD DRAWINGS. EFFECTIVE BYPASS FOR THE STORMGARDEN SYSTEM IS ESSENTIAL FOR CORRECT OPERATION (I.E. BYPASS TO AN OVERFLOW AT LOWER ELEVATION).
- EACH STORMGARDEN UNIT MUST RECEIVE ADEQUATE IRRIGATION TO ENSURE SURVIVAL OF THE LIVING SYSTEM DURING PERIODS OF DRIER WEATHER. THIS MAY BE ACHIEVED THROUGH A PIPED SYSTEM, GUTTER FLOW OR THROUGH THE TREE GRATE.

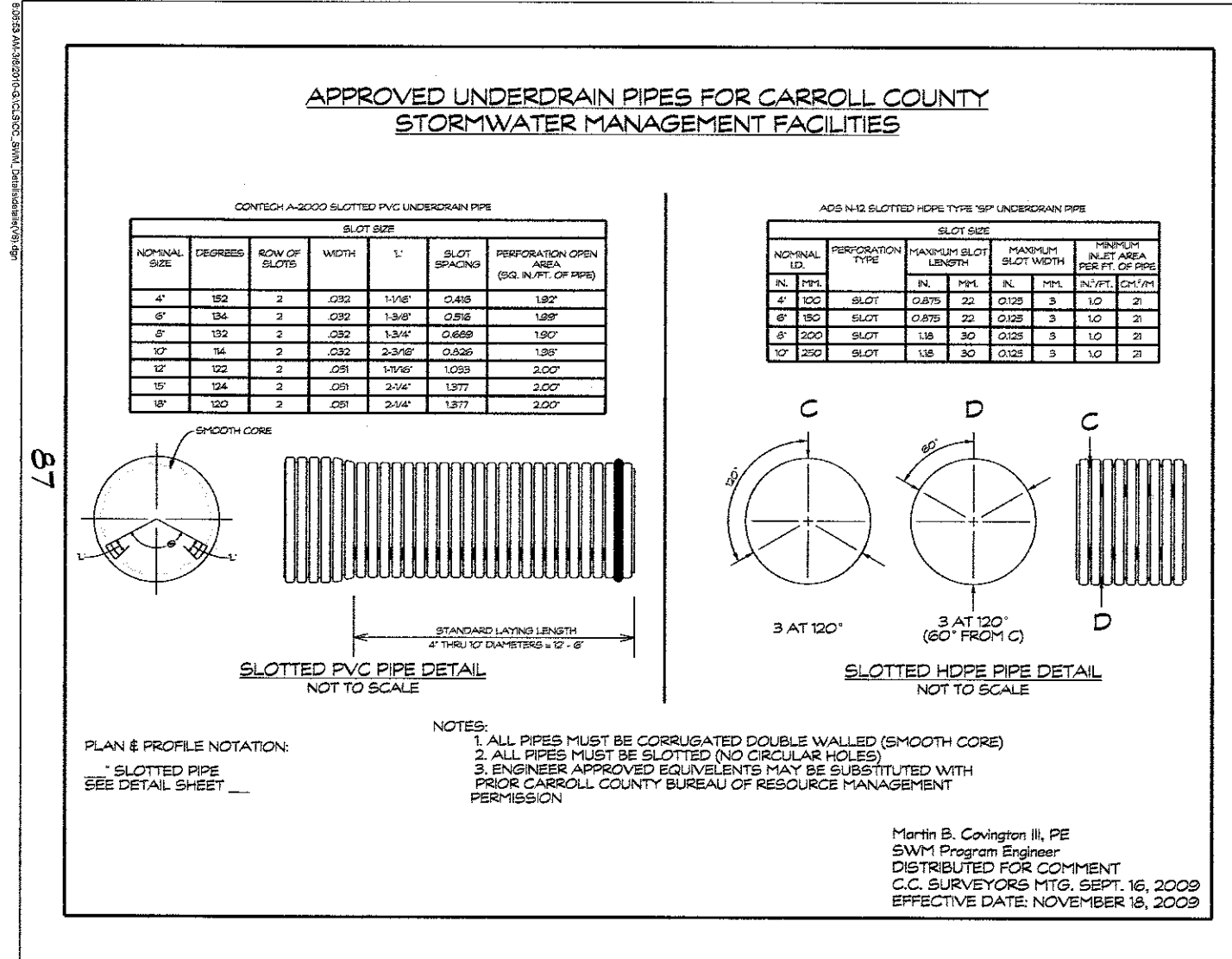
BIO-POD UNIT MATERIALS SPECIFICATION			
MATERIALS	SPECIFICATIONS	SIZE	NOTES
BIO-MEDIA	RES BIO-MEDIA	-	140 IN/HR INFILTRATION RATE
MULCH	SHREDDED HARDWOOD	-	AGED 6-MONTHS
UNDERDRAIN STONE	WASHED PEA GRAVEL	#78 OR #8	-
UNDERDRAIN PIPING	-	4" TO 6" RIGID SCHEDULE-40 OR SDR-35	8" PER 6" ON CENTER, 4 HOLES PER ROW



DRAINAGE STONE & BEDDING DETAIL

STORM STRUCTURE SCHEDULE

STRUCTURE NO.	TYPE	INVERT IN ELEV.	INVERT OUT ELEV.	TOP ELEV.	NORTH	EAST	REMARKS
I-1	SINGLE WR INLET MD 374.06	-	747.50	GRATE EL.=751.80	N 620950.4647	E 1264641.1605	
I-2	SINGLE WR INLET MD 374.06	-	741.46	GRATE EL.=745.70	N 620788.8874	E 1264465.4762	
I-3	PRECAST SINGLE WR MD 374.23	740.20	740.00	GRATE EL.=747.50	N 620803.7209	E 1264454.0782	
I-4	PRECAST SINGLE WR MD 374.23	-	735.13	GRATE EL.=739.10	N 620559.1289	E 1264372.3560	
I-5	STD COG INLET MD 384.41	733.93	733.73	GRATE EL.=741.77	N 620662.0953	E 1264312.4309	
I-6	PRECAST SINGLE WR MD 374.23	731.34	731.14	GRATE EL.=738.30	N 620637.4282	E 1264245.5515	
I-7	SINGLE WR INLET MD 374.06	-	732.46	GRATE EL.=736.7	N 620627.7711	E 1264251.8646	
I-8	STD COG INLET MD 384.41	-	702.00	GRATE EL.=734.0	N 620364.3804	E 1264183.1921	
I-9	PRECAST SINGLE WR MD 374.23	-	731.14	GRATE EL.=733.50	N 620390.2511	E 1264159.2305	
I-10	PRECAST SINGLE WR MD 374.23	698.83	698.63	GRATE EL.=708.00	N 620346.9684	E 264144.3735	
I-11	PRECAST SINGLE WR MD 374.23	730.74	730.54	GRATE EL.=734.00	N 620370.7115	E 1264107.9109	
I-12	PRECAST SINGLE WR MD 374.23	729.56	729.36	GRATE EL.=734.00	N 620447.6361	E 1264046.7624	
I-13	PRECAST SINGLE WR MD 374.23	728.87	728.67	GRATE EL.=733.90	N 620495.4402	E 1264067.3801	
MH-2		733.50	733.10	GRATE EL.=741.0	N 620679.7170	E 1264297.9719	
EX.MH-1		-	702.00	GRATE EL.=705.50	N 620529.7469	E 1264010.0722	



Material	Specification	Size	Notes
Plantings	See Landscape Plan	N/A	Plantings are site specific and per approved landscape plan
Mulch	Shredded Hardwood	N/A	Aged 6 months, minimum
Geotextile	Class "C" - Apparent opening size (ASTM-D-4751), Grab Tensile Strength (ASTM-D-4632), Puncture Resistance (ASTM-D-4833)	N/A	Sides only Not on bottom unless specified on the plans
Underdrain and Reservoir	AASHTO M-43 No. 8 Stone	3/8" - 1/2"	Stone must be clean and washed
Underdrain Piping	Slotted PVC or Slotted HDPE Type "S" Pipes Solid: Scheduled 40 PVC or HDPE Type S	See Plan	Refer to the Carroll County SWM Supplement Pg. 87 All pipes must be double walled (smooth core) and slotted (no circular holes)
Sand	ASTM-C-33 (3 parts to 6 within Filter Media)	0.02" - 0.04"	Sand substitutions such as Diabase and Gneiss #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock-dust" can be used for sand. Manufactured sand from approved sources may be used for filters. Manufactured sand may not be used in dams.
Soil	Engineer approved loam with 20% or less clay (1 part to 6 within Filter Media)	N/A	
Wood Chips	Untreated "Green" (2 parts to 6 within Filter Media)	N/A	Untreated "green" wood chips
Filter/Planting Media	Composed of 3 parts sand, 2 parts wood chips, 1 part soil	N/A	See individual material specifications

MICRO-BIOTENTION		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channeling, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plan.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Relocate odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anoxic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm adequate dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channeling.	Re-grading may be required when concentrated flow causes rills or gully through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (riser), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, breakage, and blockages.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riser outlets must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

OWNER

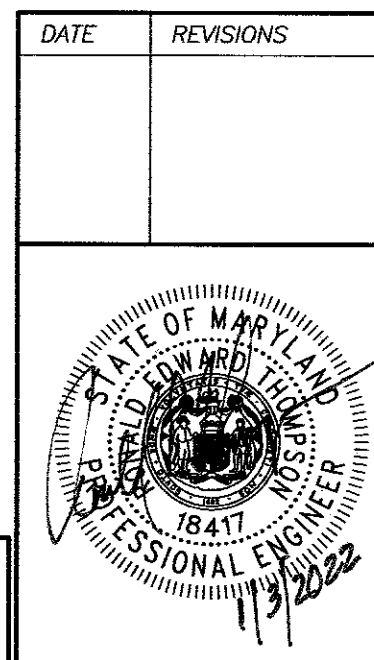
LDG RIDGEVILLE LLC
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

DEVELOPER

LDG INC.
LEE PLAZA
8601 GEORGIA AVENUE, SUITE 200
SILVER SPRING, MD 20910
(301) 585-7000

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.



CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN

STORM WATER MANAGEMENT DETAILS

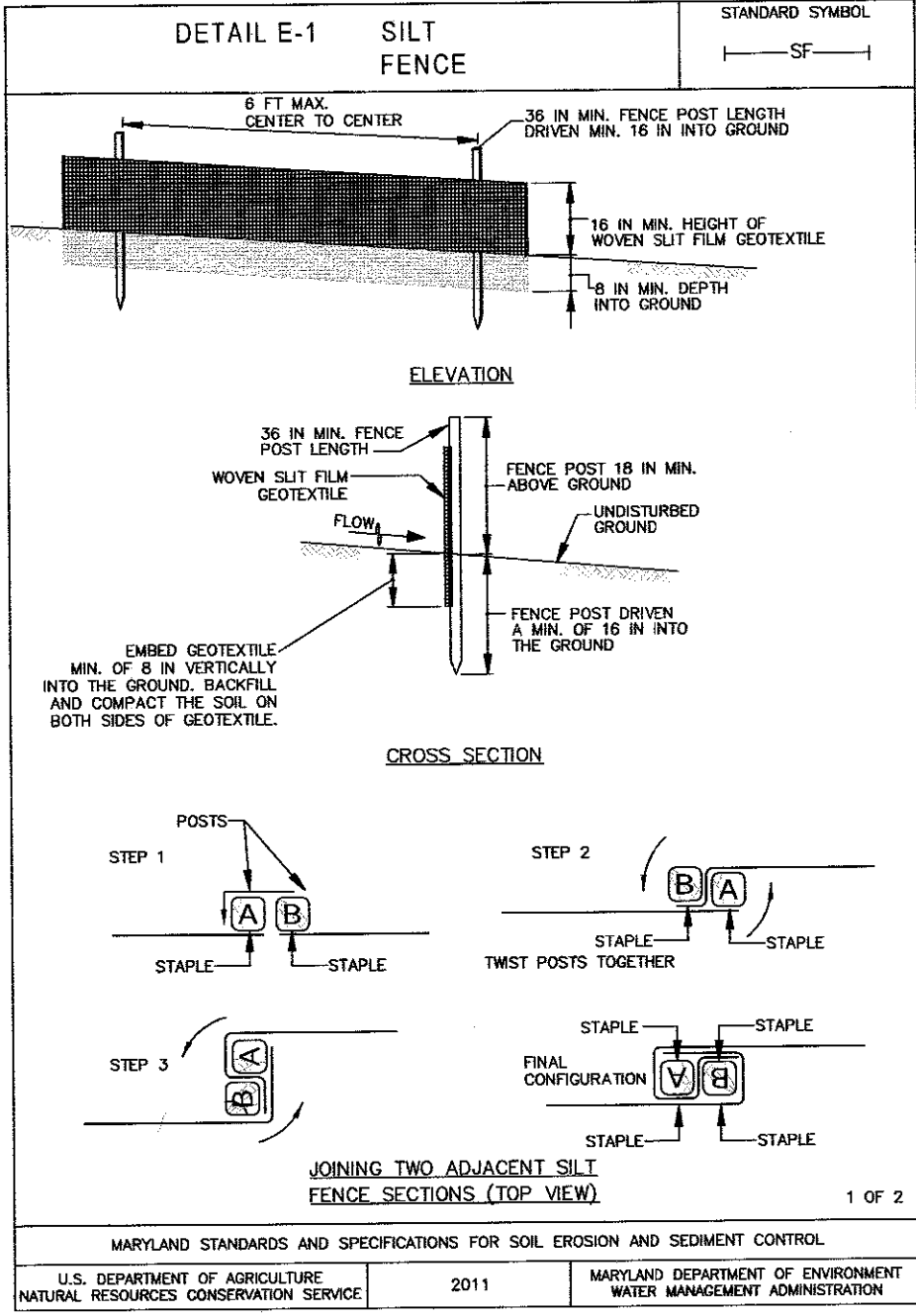
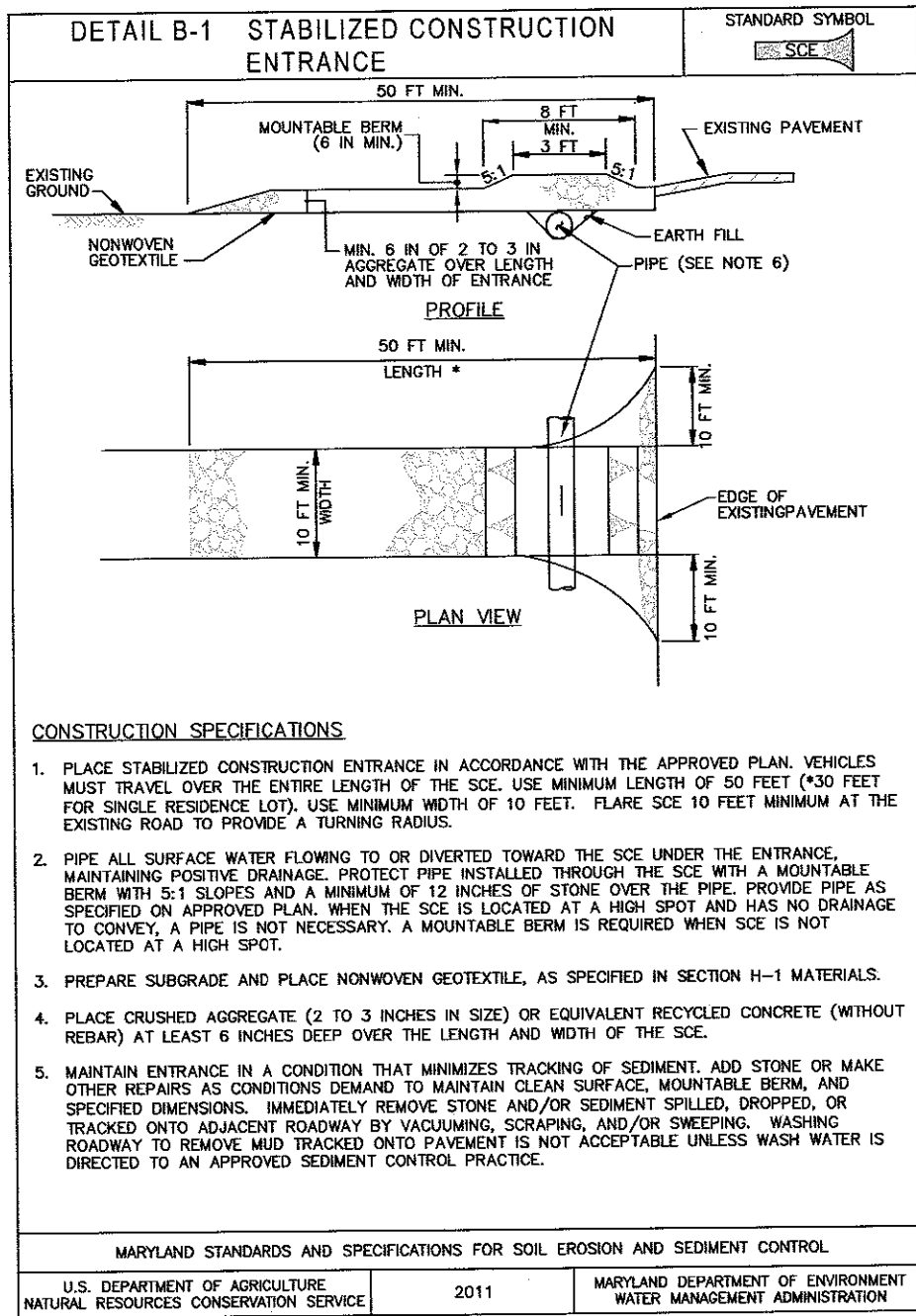
LOT 18A, SECTION II

TWIN RIDGE PROFESSIONAL PARK
TAX MAP: 90D, PARCEL 1408 PB 74, PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
CARROLL COUNTY, MARYLAND
SCALE: AS SHOWN MAY 2021



VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

SHEET NO. 6 OF 11



UTILITY NOTE FOR SECONDARY UTILITY WORK

A. ALL DISTURBANCES FROM SECONDARY UTILITY'S SUCH AS PHONE CABLE, ELECTRIC CABLE, T.V. CABLE, ETC. WILL BE SUBCONTRACTORS RESPONSIBILITY TO BRING WORK AREA BACK TO GRADE LEVEL THAT WAS EXISTING AND MULCH ANY DISTURBANCE FROM INSTALLATION OF LINES OR CONDUIT.

B. SUB CONTRACTORS WILL BE RESPONSIBLE FOR RE-INSTALLING OR REPAIRING ANY SILT FENCE OR SEDIMENT CONTROLS THAT WERE EXISTING TO MAINTAIN PROPER SEDIMENT CONTROL THAT MIGHT HAVE BEEN DAMAGED.

FOR UTILITY WORK ONLY OR FOR OFF-SITE UTILITY WORK

1. CAN NOT EXCEED 5,000 SQUARE FEET

2. PLACE ALL EXCAVATED MATERIAL ON HIGH SIDE OF TRENCH.

3. ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACKFILLING FINAL GRADING, SEEDING AND MULCHING CAN OCCUR.

4. ANY SEDIMENT CONTROL MEASURES DISTURBED BY CONSTRUCTION WILL BE REPAIRED THE SAME DAY.

DISTURBED AREA QUANTITY

TOTAL SITE AREA IS 3.47± AC.

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 147,238± S.F. AND THE TOTAL AMOUNT OF EXCAVATION AND FILL SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 500 C.Y. OF EXCAVATION AND APPROXIMATELY 500 C.Y. OF FILL.

SIGNED: RONALD E. THOMPSON DATE: 1/9/2022

NOTE: EARTHWORK CUT AND FILL QUANTITIES AND AREA OF DISTURBANCE INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSE OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND ARE NOT TO BE USED FOR CONTRACTUAL OBLIGATION.

VEGETATIVE SPECIFICATIONS AND NOTES

1. DISTURB AS SMALL AN AREA OF THE PRESENT COVER AS POSSIBLE WHILE PERFORMING GRADING.

2. ESTABLISH PERMANENT VEGETATIVE COVER IMMEDIATELY AFTER FINAL GRADING IS COMPLETED. (THIS INCLUDES ALL GRADING ON OR OFF THIS SITE THAT IS AFFECTED BY THIS CONSTRUCTION.) IF FINAL GRADING IS COMPLETED AT A TIME OTHER THAN THE SEEDING SEASON, A TEMPORARY GROUND COVER SUCH AS MULCHING WILL BE USED TO STABILIZE THE BARE SOIL.

3. RECOMMENDED TEMPORARY SEED MIXTURE:

SEED: BALBOA RYE AT 150 LBS. PER ACRE

LIME: 2 TONS GROUND LIMESTONE PER ACRE

FERTILIZER: 10-10-10 AT 1,000 LBS. PER ACRE

MULCH: STRAW AT 1.5 TONS PER ACRE

ASPHALT: SS-1 OR EQUIVALENT AT 200 GAL. PER ACRE

4. RECOMMENDED PERMANENT SEED MIXTURE:

SEED: KY-31 FESCUE AT 60 LBS. PER ACRE

LIME: 2 TONS GROUND LIMESTONE PER ACRE

FERTILIZER: 10-10-10 AT 1,000 LBS. PER ACRE

MULCH: STRAW AT 1.5 TONS PER ACRE

ASPHALT: SS-1 OR EQUIVALENT AT 200 GAL. PER ACRE

STOCKPILE NOTES:

1. NO STOCKPILING ALLOWED ON ASPHALT.

2. ALL STOCKPILES LEFT AT THE END OF THE NEXT DAY NEED TO BE STABILIZED UNTIL THE NEXT REDISTURBANCE.

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 6 Months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 436 lb. per acre (10 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (90 lb. per sq. ft.) and shall meet the requirements in section B-4-2 and B-4-4.

Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used.

Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B.1 (page B.20).

Temporary Seeding Summary The seeding chart below will need to be placed on and filled in on the sediment control plan

Hardness Zone (from Figure B.3):				Fertilizer Rate (10-20-20)		Lime Rate
Seed Mixture (from Table B.1):						
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths		
					436 lb/acre (10 lb/1000 sq ft)	2 tons/acre (90 lb/1000 sq ft)

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soils tests.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply.

Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:

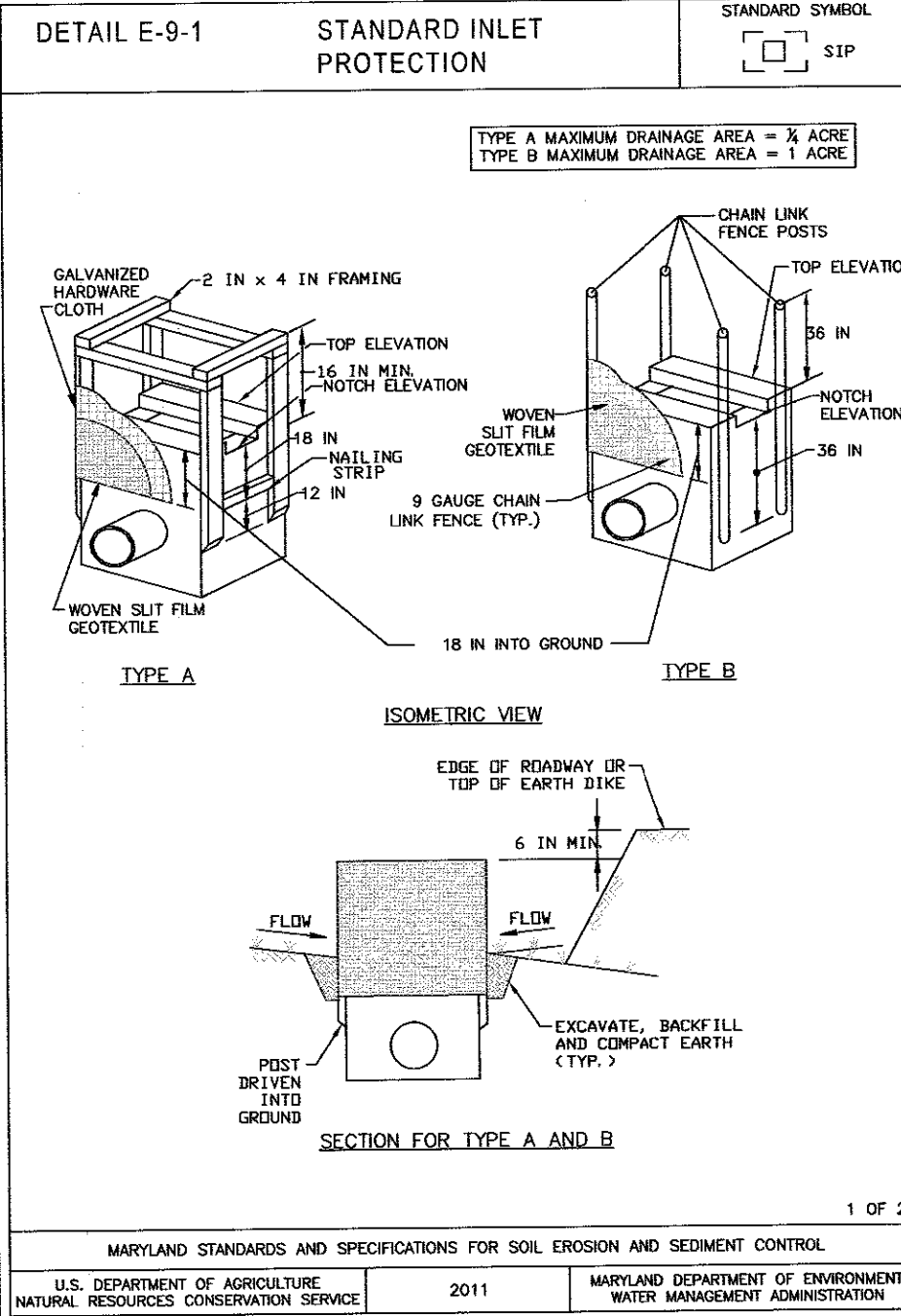
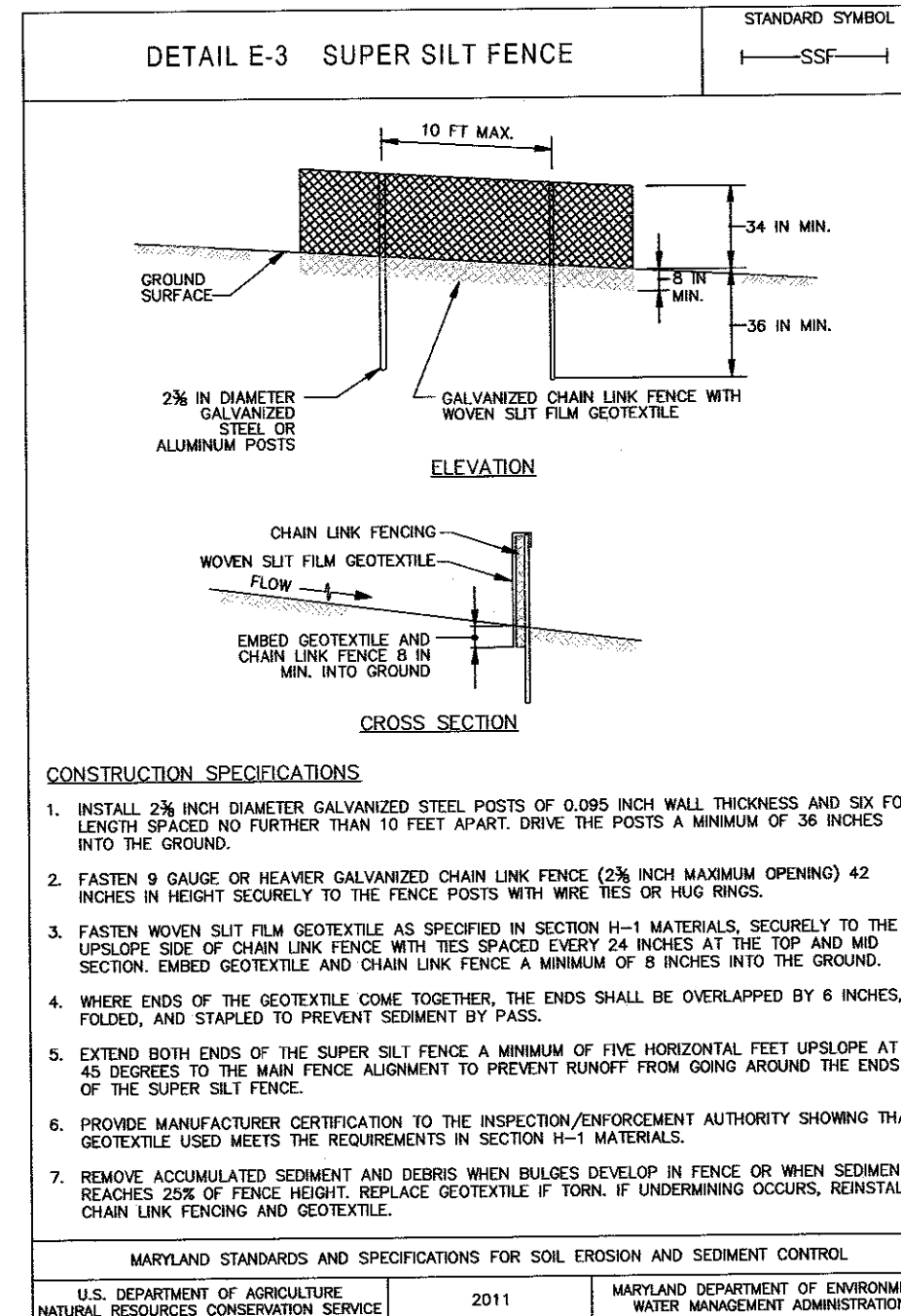
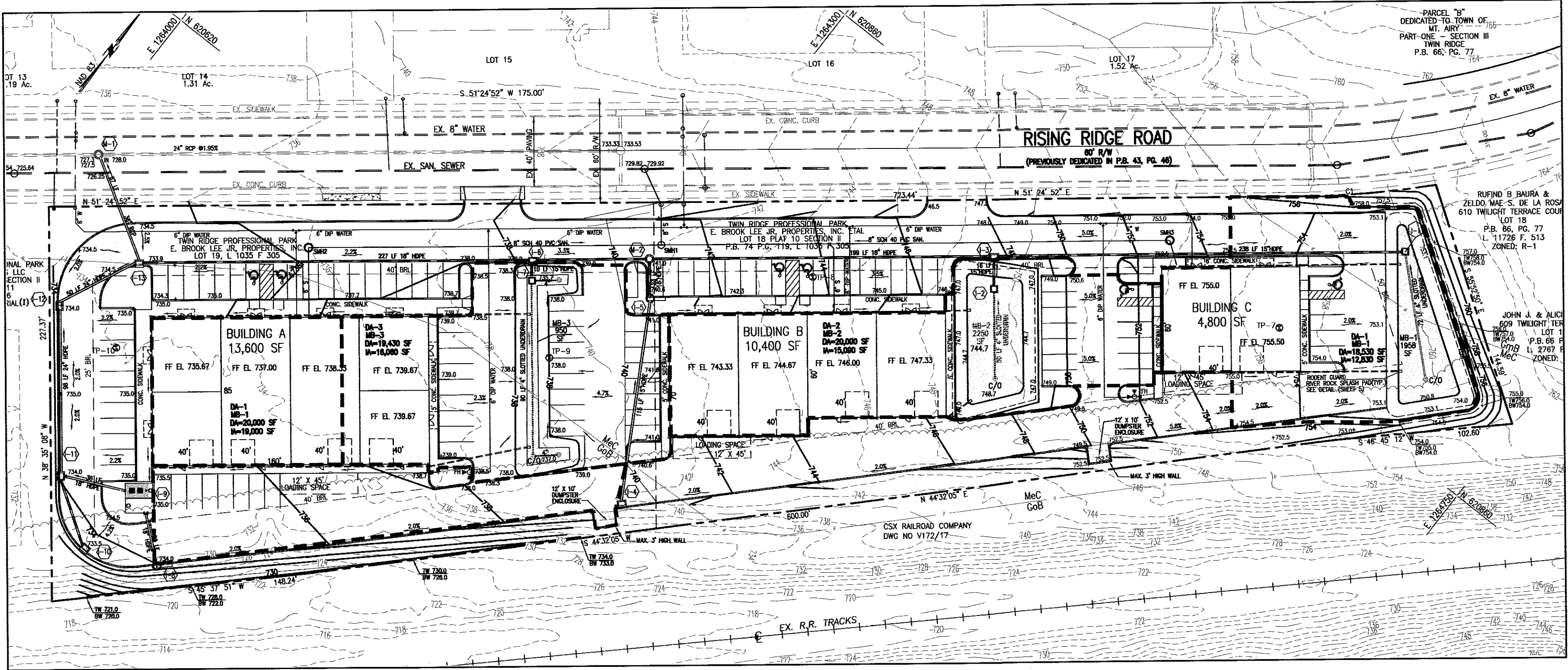
N = 45 lb. per acre (1 lb. per 1000 sq.ft.) P205 = 90 lb. per acre (2 lb. per 1000 sq.ft.) K20 = 90 lb. per acre (2 lb. per 1000 sq.ft.)

Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq.ft.)

Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filled in on the sediment control plan

Hardness Zone (from Figure B.3):				Fertilizer Rate (10-20-20)			Lime Rate
Seed Mixture (from Table B.3):							
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths	N	P205	K20
				1/4-1/2 in	45 pounds per acre (1 lb/1000 sq ft)	90 lb/acre (2 lb/1000 sq ft)	90 lb/acre (2 lb/1000 sq ft)
				1/4-1/2 in			
				1/4-1/2 in			



SEDIMENT AND EROSION CONTROL NOTES

1. All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in association with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
2. Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 5 days (3 days for sediment control measures and for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
3. For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5.
4. Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1.B.
5. For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1.
6. The existing topsoil from on or off site that is used must meet the minimum specification in B-4-2.
7. The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
9. No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require an engineered design for stabilization.
10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
12. The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.

DUST CONTROL

DUST CONTROL METHOD FOR THIS SITE TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES: CALCIUM CHLORIDE SHALL BE APPLIED TO EXPOSED SURFACES AT A RATE THAT WILL KEEP SURFACE MOIST UNTIL SOIL IS STABILIZED ACCORDING TO VEGETATIVE SPECS. FOR THIS SITE AND AREAS TO BE PAVED ARE COMPLETED.

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

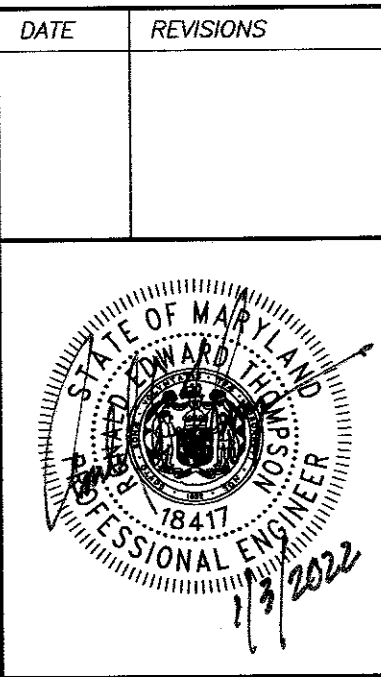
B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

TEMPORARY STOCKPILE NOTE

SITE EARTHWORK HAS BEEN BALANCED SUCH THAT A TEMPORARY STOCKPILE SHOULD NOT BE NECESSARY. SHOULD CONTRACTOR DECIDE TO USE A STOCKPILE, CONTRACTOR SHALL PLACE STOCKPILE ON SUITABLE AREA OF THE SITE AND FOLLOW TEMPORARY STABILIZATION NOTES.

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19417, Expiration Date: 9/18/23.



CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN

SEDIMENT CONTROL NOTES & DETAILS

LOT 18A, SECTION II

TWIN RIDGE PROFESSIONAL PARK

TAX MAP: 90D, PARCEL 1408 PB 74, PG.119

SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY

18TH ELECTION DISTRICT

CARROLL COUNTY, MARYLAND

SCALE: AS SHOWN MAY 2021

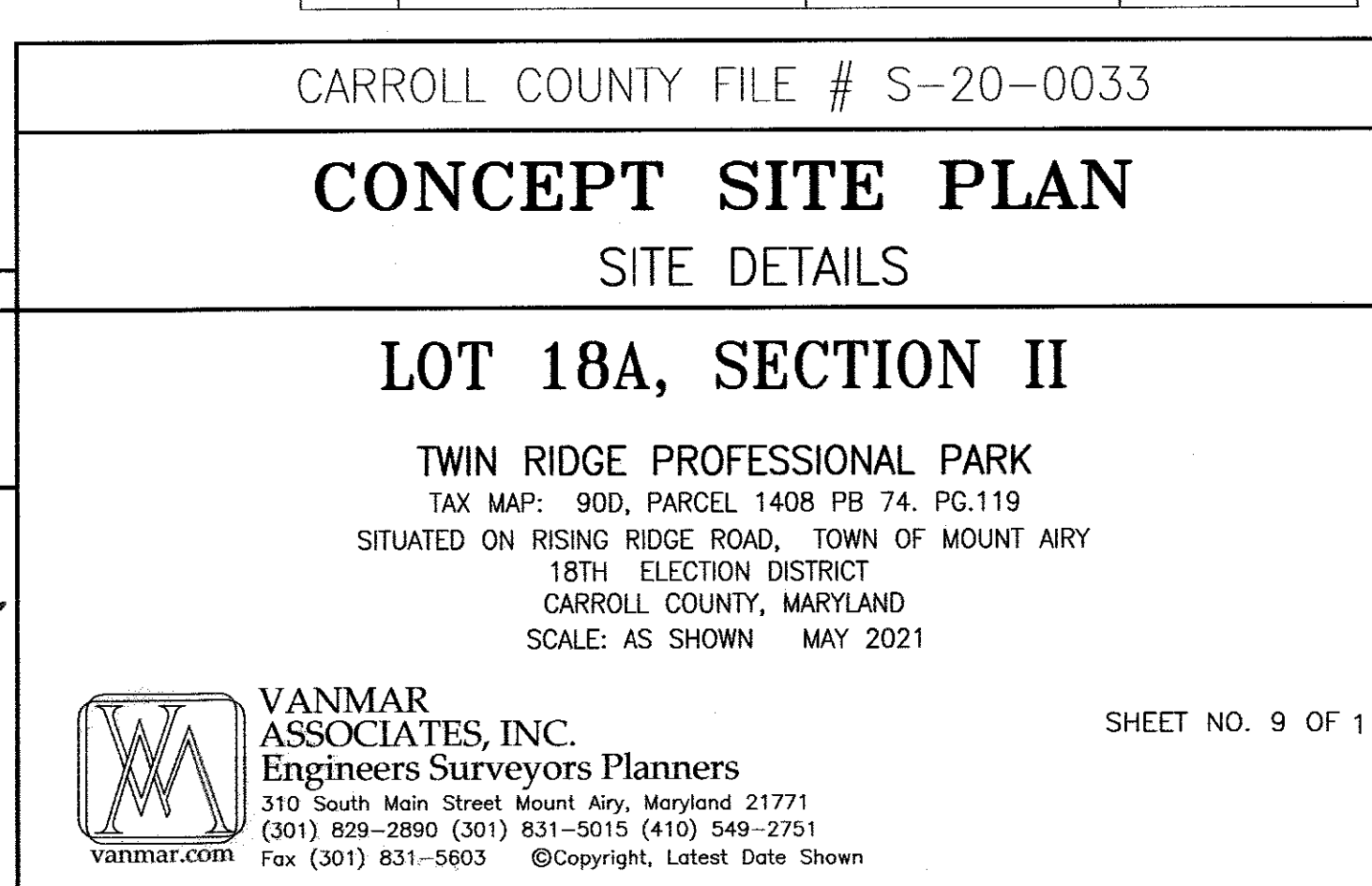
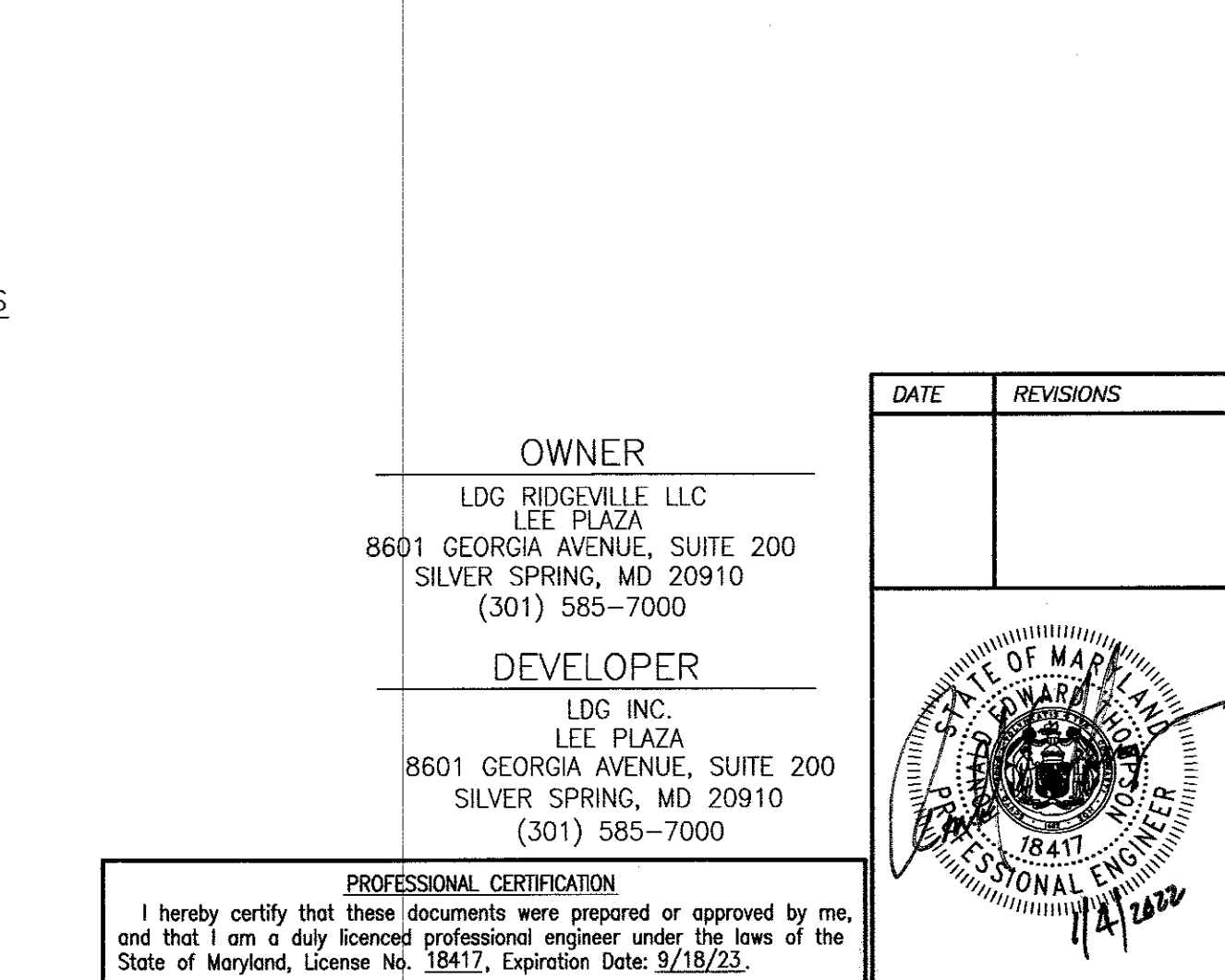
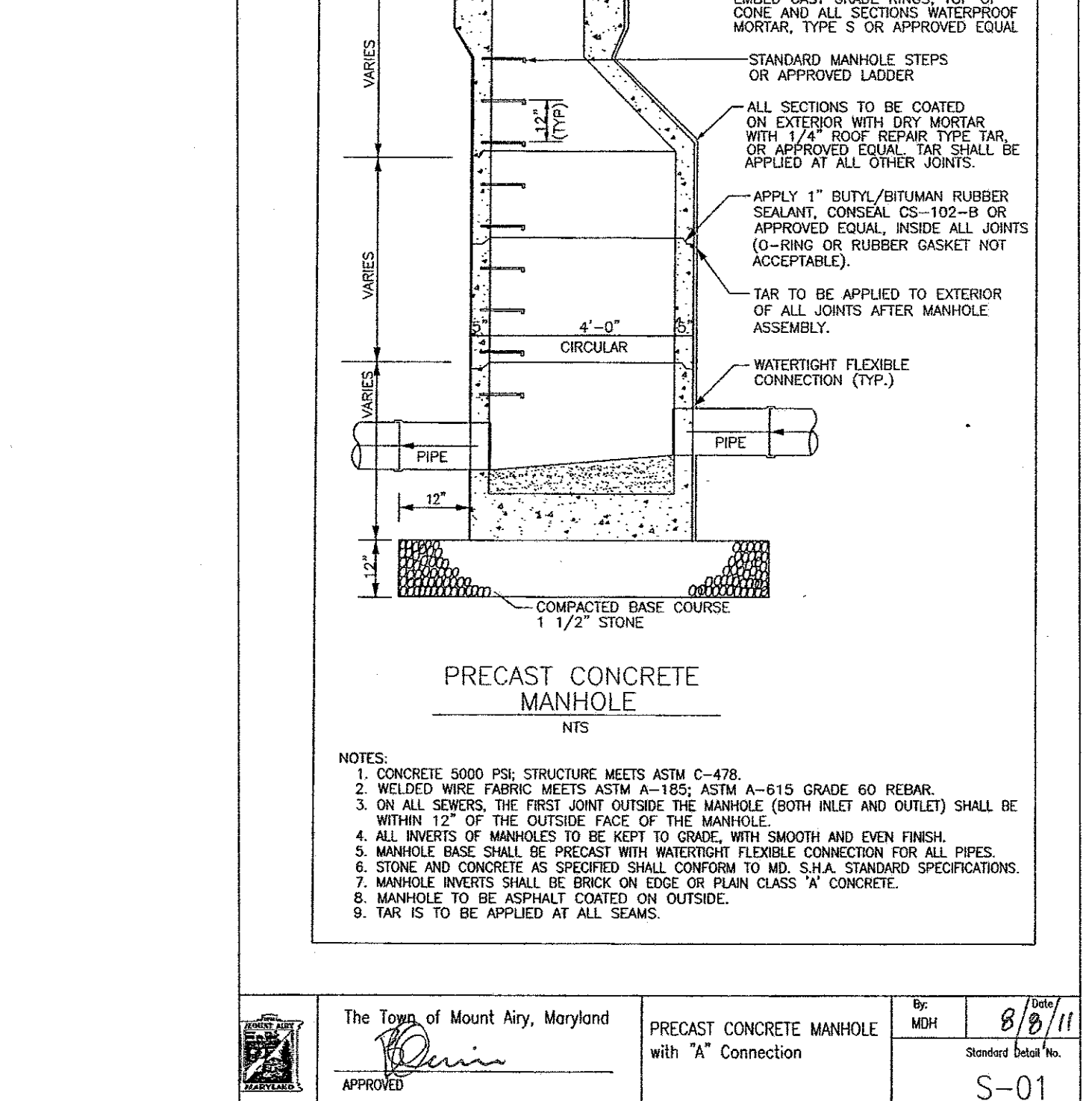
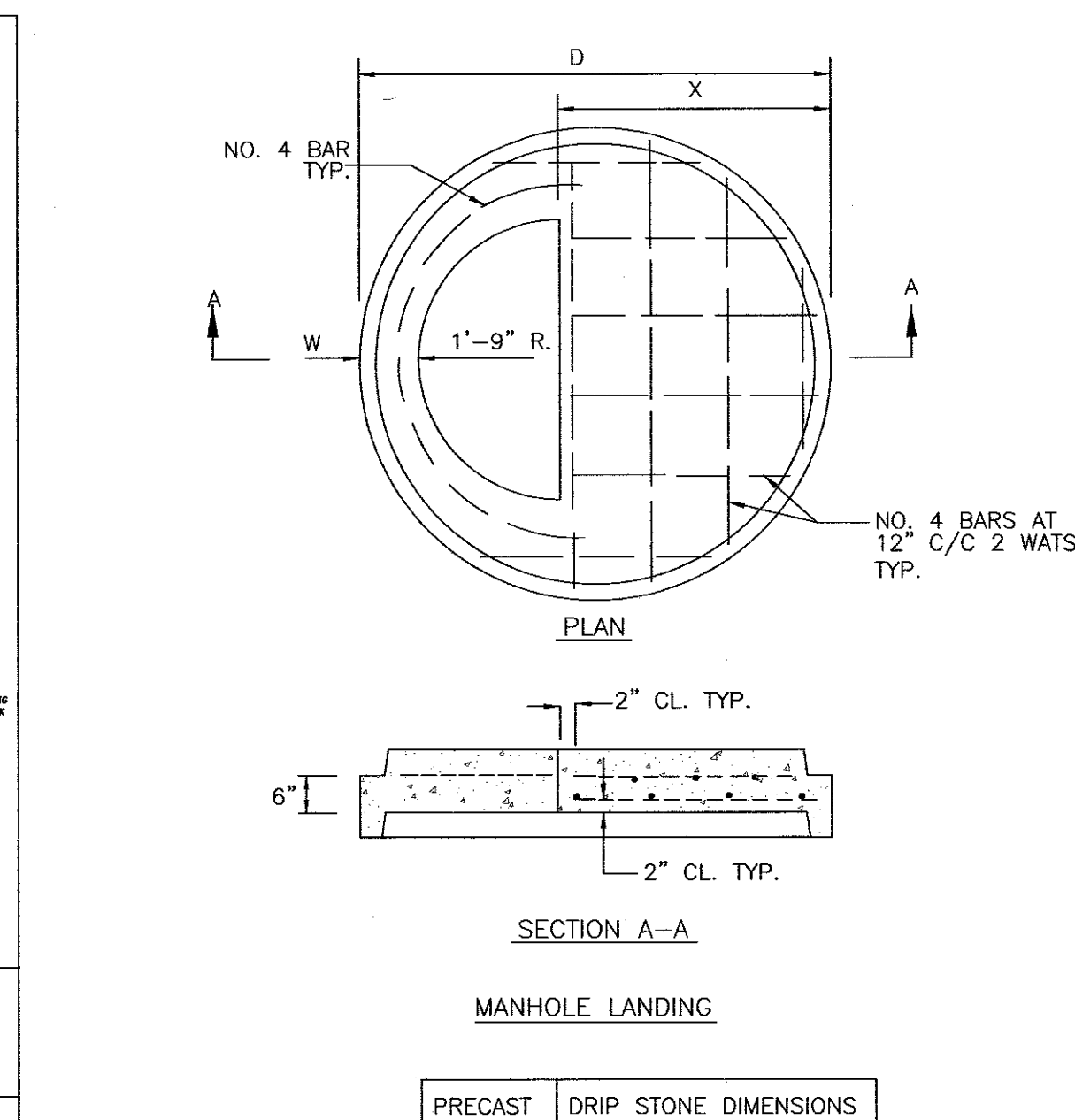
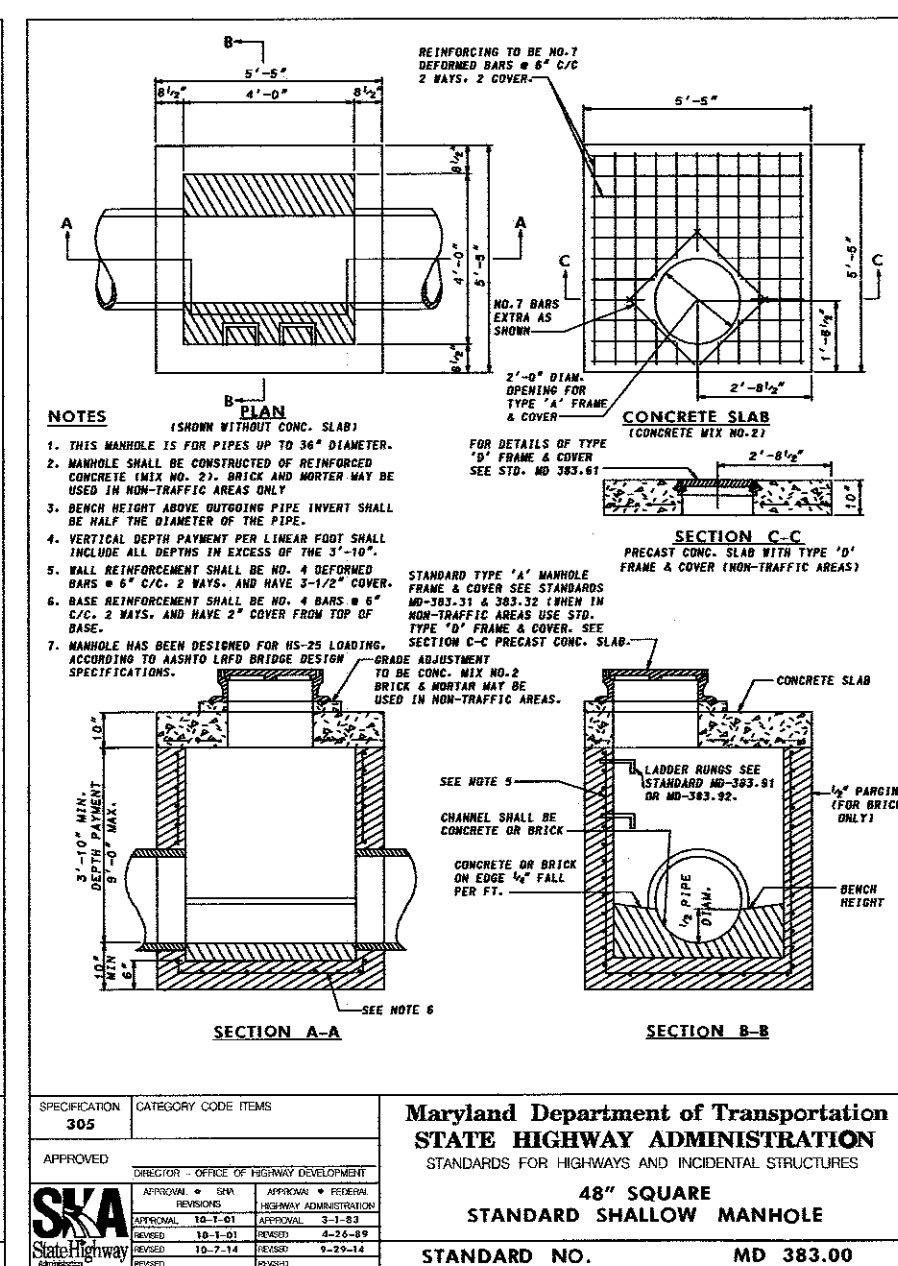
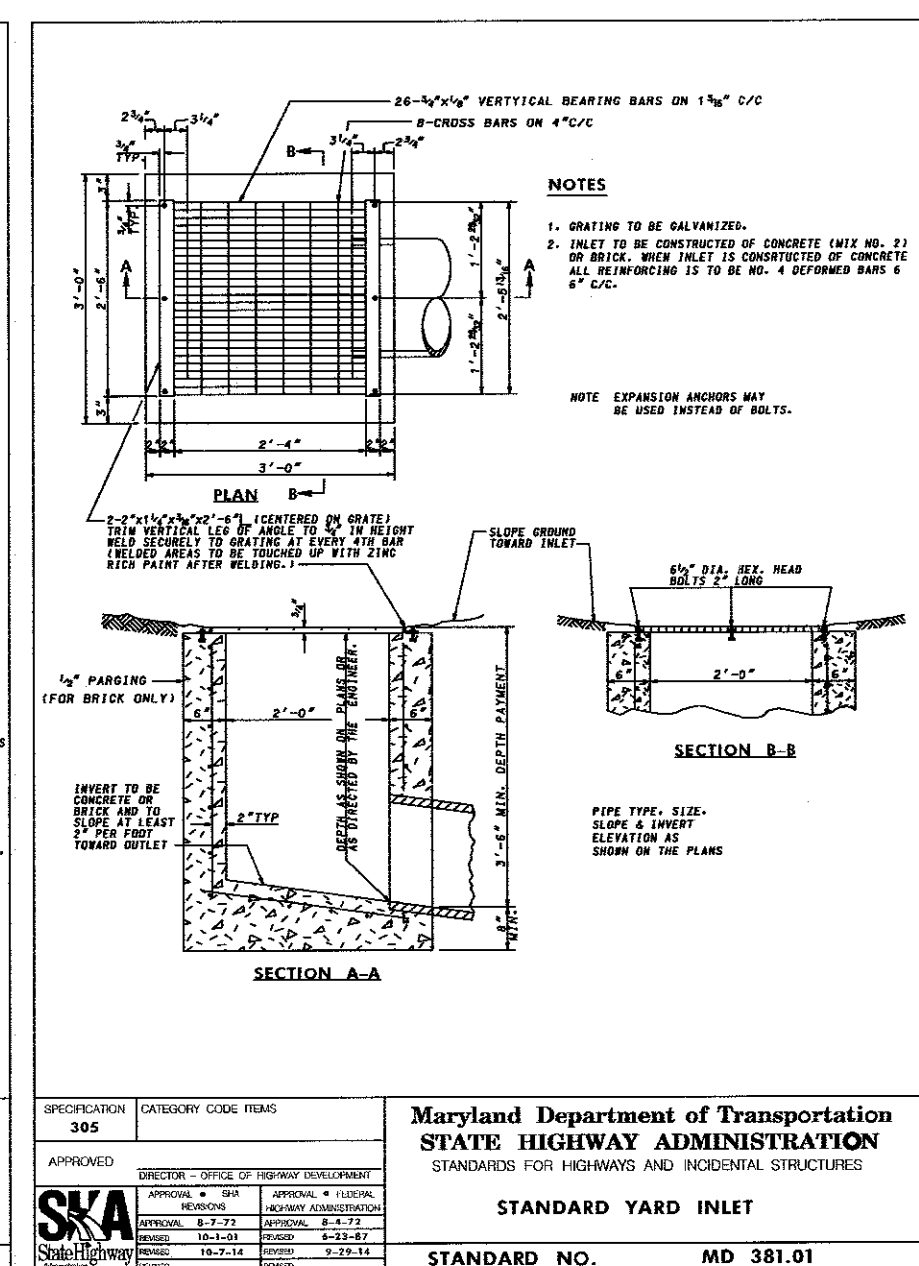
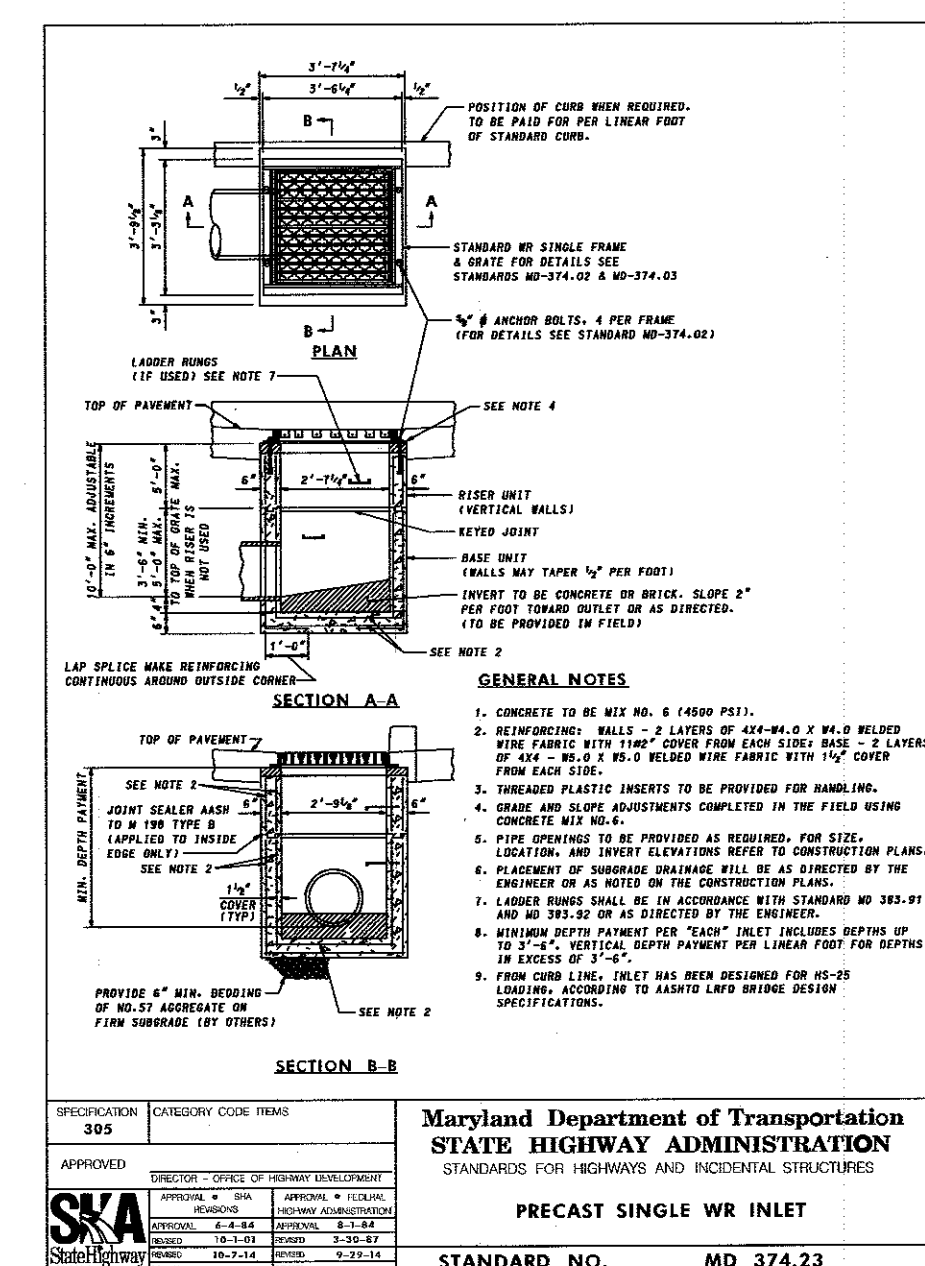
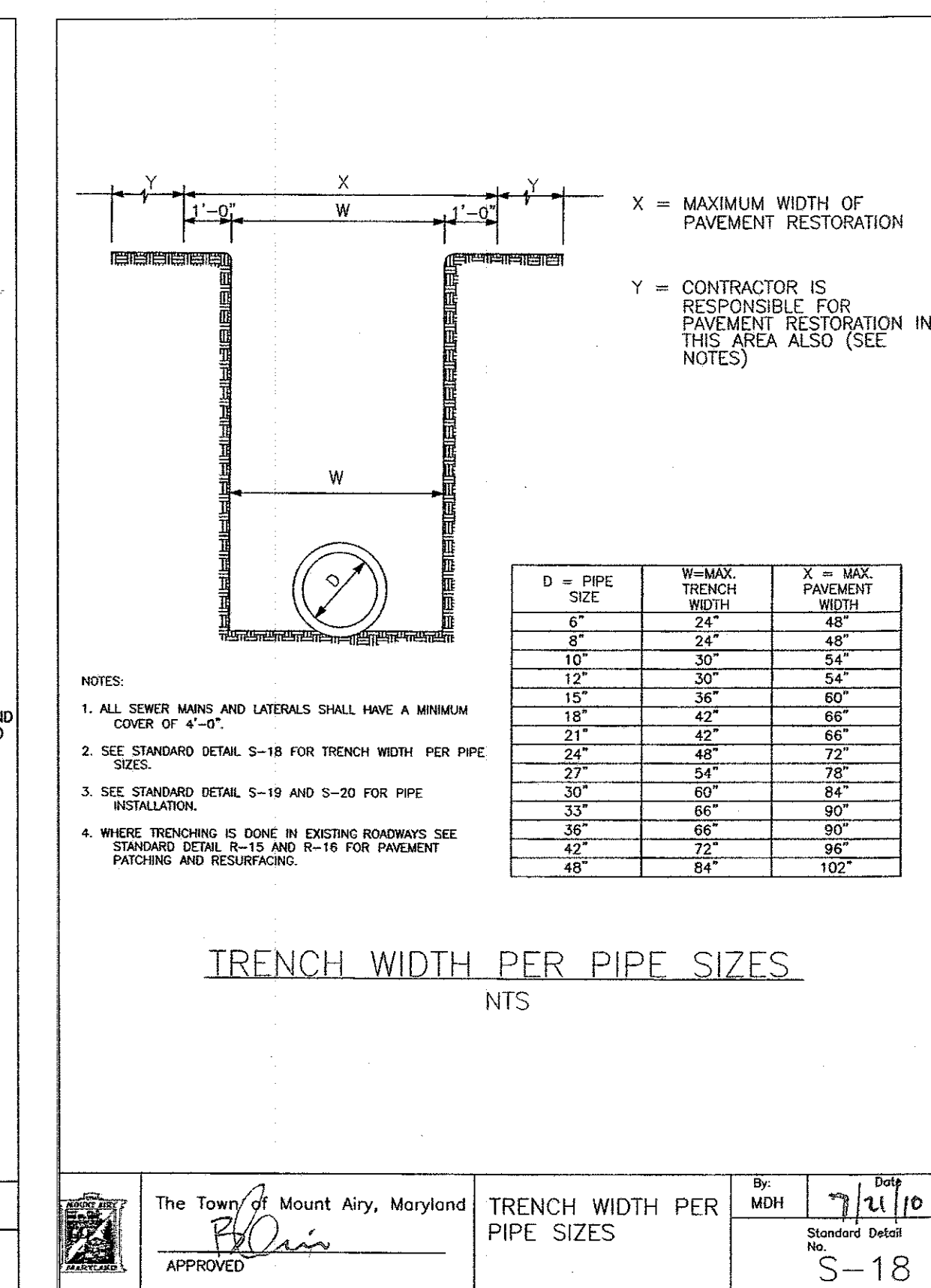
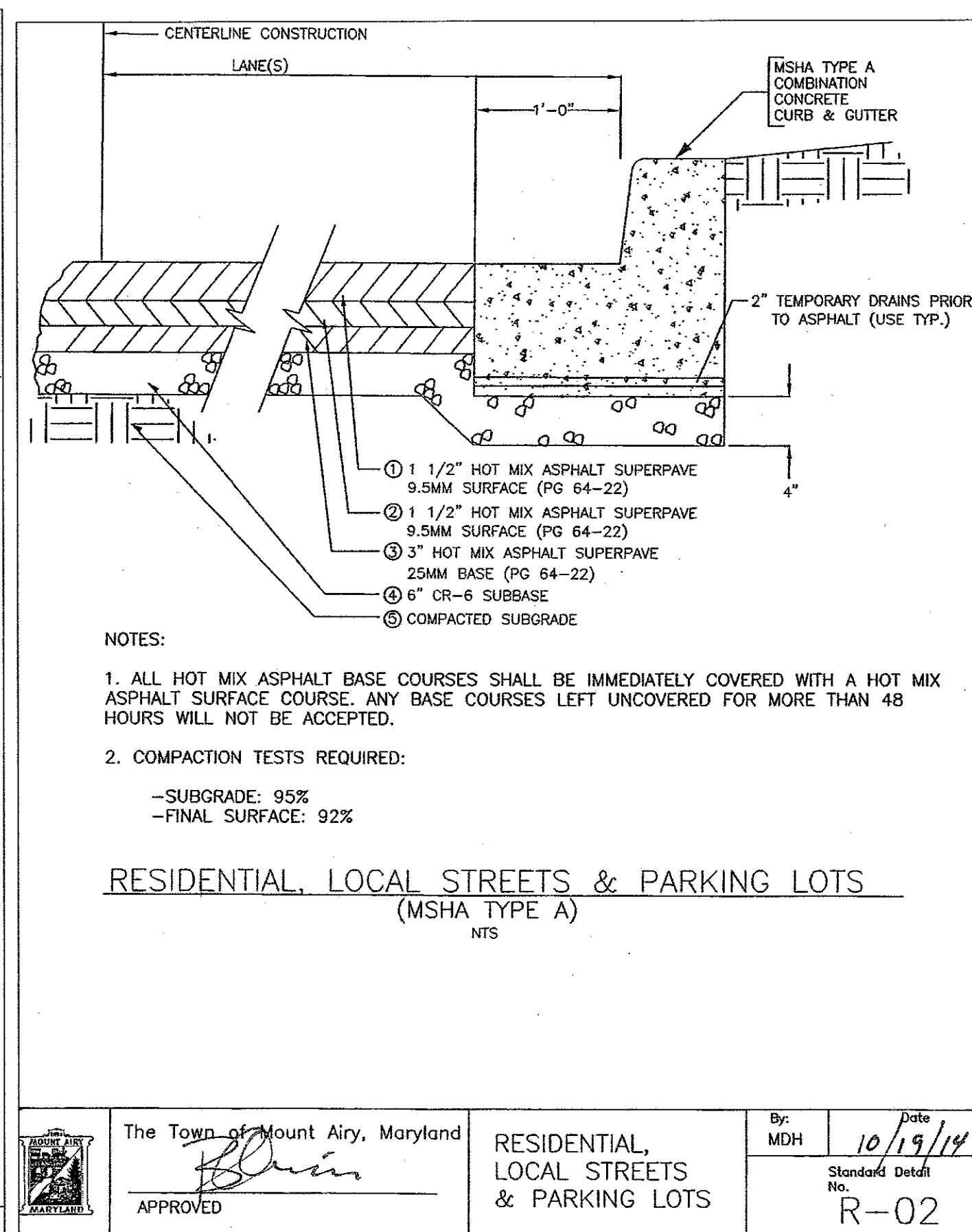
VANMAR ASSOCIATES, INC.

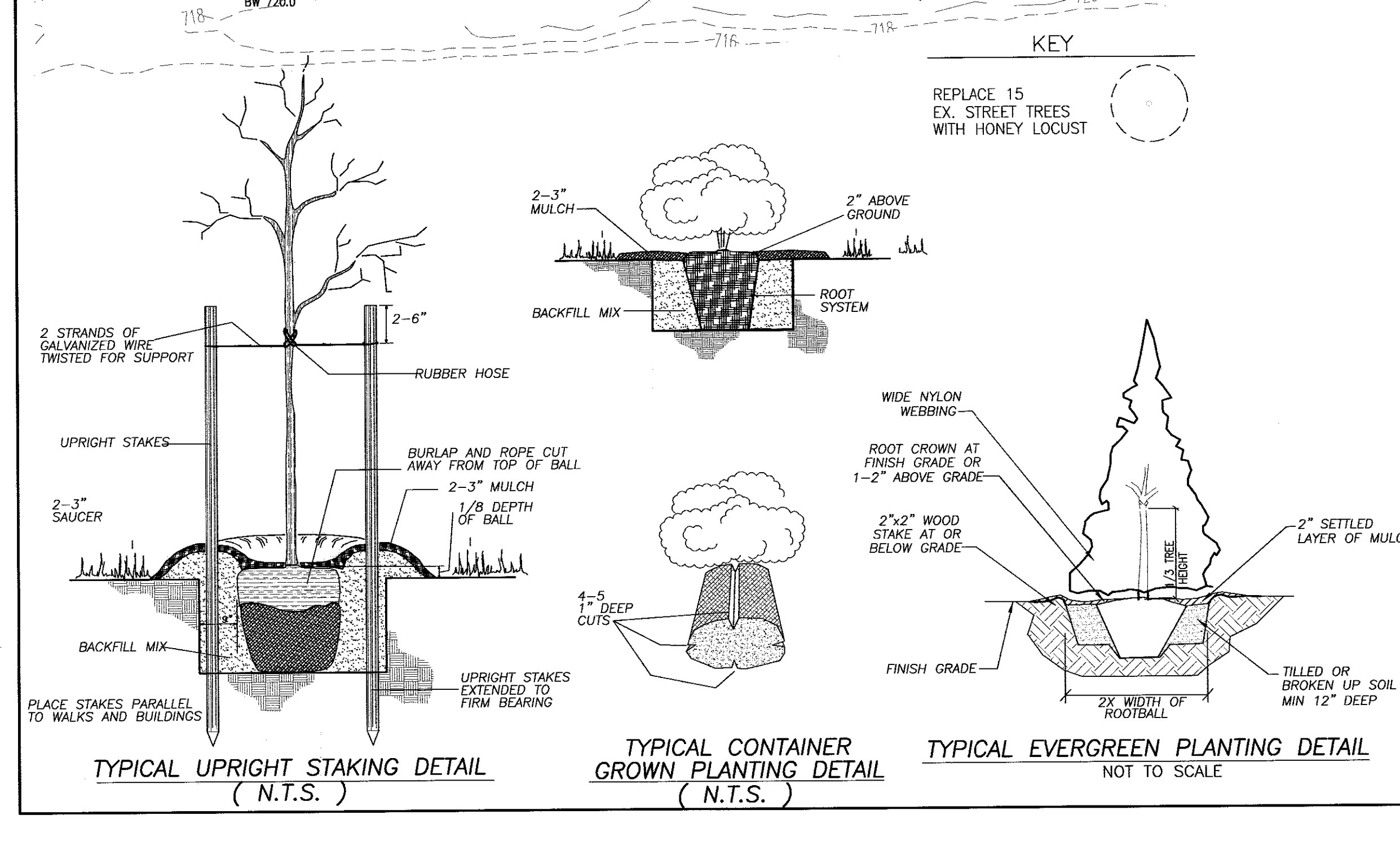
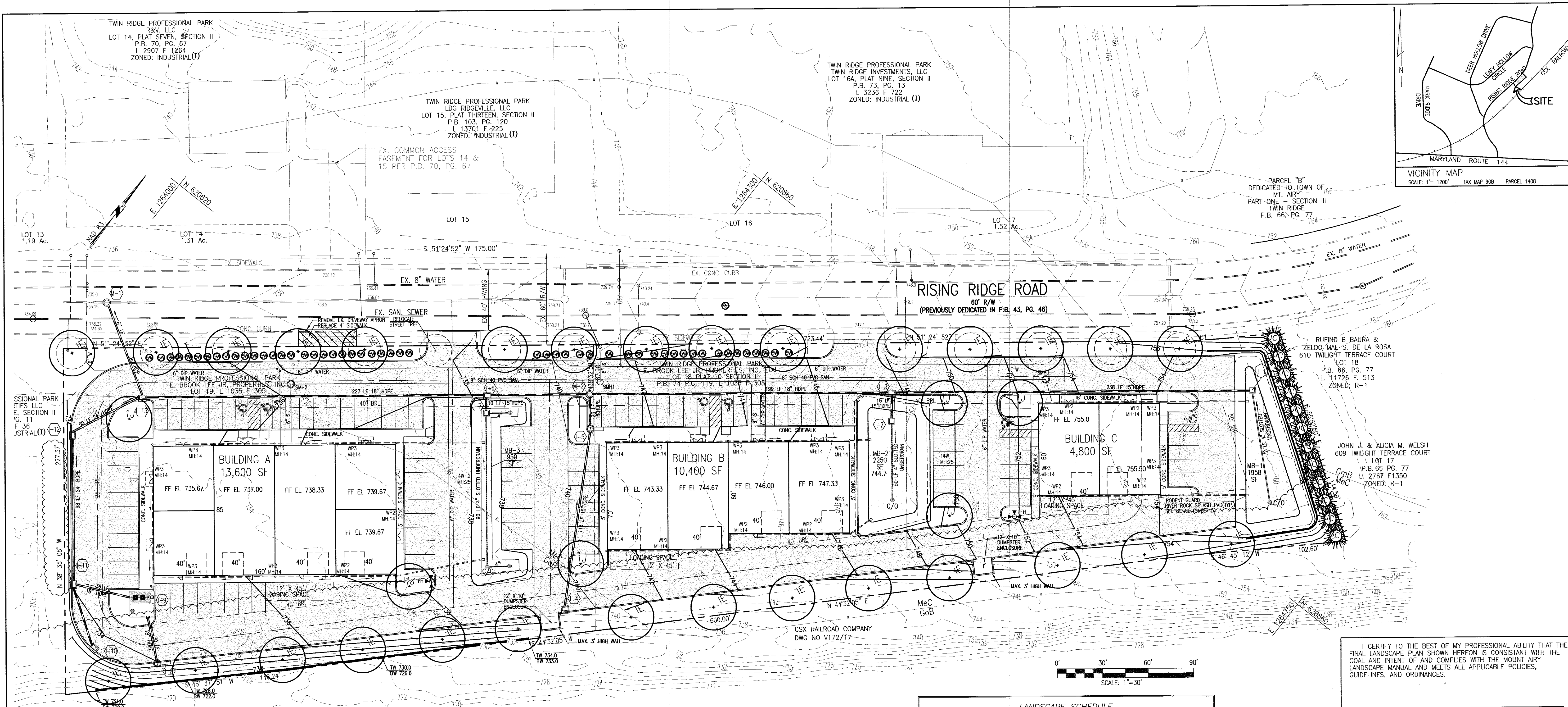
Engineers Surveyors Planners

310 South Main Street Mount Airy, Maryland 21771

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TOWN OF MT. AIRY LANDSCAPE STANDARDS				
OUTLINE OF REQUIREMENTS				
		units		p.u.
1. CREDIT FOR TREES RETAINED: (Sec. V.A.3.)				
a. 1 P.U./1000 S.F. RETAINED =	0.00 s.f.	N/A		0.0
b. 1 P.U./8" D.B.H. RETAINED =	0.00 # trees	N/A		0.0
c. 2 P.U./20" D.B.H. RETAINED =	0.00 # trees	N/A		0.0
2. BUFFER PLANTING: (Sec. IV.K.)				
a. 1 P.U./60 L.F. between non-res property =	227.37 l.f.			3.8
b. 1 P.U./25 L.F. between res/non-res prop =	144.59 l.f.			5.8
3. PARKING LOT SCREENING: (Sec. IV.J.)				
a. hedge 3' o.c. =	360 l.f.	120 shrubs		40.0
4. INTERIOR PARKING LOT PLANTING: (Sec. IV.L.)				
a. 1 P.U./12 spaces =	101.00 spaces			8.4
5. SERVICE AREA SCREENING: (Sec. IV.M.)				
a. 3' O.C. for screening =	0 l.f.	0 shrubs		0.0
b. Screening = Fencing or Masonary Walls. (Dumpster Enclosure Provided).				0.0
6. RESIDENTIAL LANDSCAPE REQUIREMENTS: (Sec. V.A.)				
a. (Sec. V.A.1.) 3 P.U./single family lot =	0.00 # of lots	N/A		0.0
b. (Sec. V.A.1.) 2 trees/100 L.F. frontage/lot =	0.00 s.f.	N/A		0.0
c. (Sec. V.A.2.) 1 p.u./multi or townhouse unit =	0.00 units	N/A	(see #1 above)	
d. (Sec. V.A.3.) credit for trees saved =		N/A	(see #5 above)	
e. (Sec. V.A.4.a.) screening of trash areas =		N/A	(see #2 above)	
f. (Sec. V.A.4.b.) rear yard at street =		N/A	(see #3 above)	
g. (Sec. V.A.4.c.) screen parking from streets =		N/A	(see #4 above)	
h. (Sec. V.A.4.d.) interior parking planting =		N/A	(see #2 above)	
i. (Sec. V.A.4.e.) commercial buffer =		N/A		0.0
j. (Sec. V.A.4.f.) multi-fam/single-fam buffer =		N/A		0.0
k. (Sec. V.A.4.g.) swm planting =	0.00	N/A		0.0
7. COMMERCIAL, OFFICE, INDUSTRIAL, INSTITUTIONAL: (Sec. V.B.)				
a. 1 P.U./40 L.F. interior roadway =	0.00	N/A	(see #3 above)	
b. screen parking according to Sec. IV.J. =		N/A	(see #4 above)	
c. interior parking: 1/12 spaces =		N/A	(see #2 above)	
d. buffer property lines: according to Sec. IV.K. =		N/A	(see #5 above)	
e. screen dumpsters: according to Sec. IV.M. =		N/A		0.0
f. screen swm: may be required by the planning commission =		N/A		58.0
8. TOTAL P.U. REQUIRED				58.0

LANDSCAPE SCHEDULE						
SYMBOL	QUANTITY	PLANTS/PU	PU/PROVIDED	BOTANICAL/CULTURAL NAME COMMON NAME	SIZE	COMMENTS
1J	6	1	6.0 P.U.	Sawtooth Oak <i>Quercus acutissima</i>	2-2.5" cal. 13-15" ht.	B & B
IE	29	1	29.0 P.U.	Shademaster Honey Locust <i>Gleditsia triacanthos inermis</i> "Shademaster"	2-2.5" cal. 13-15" ht.	B & B
SW	12	2	6.0 P.U.	Cryptomengia Japonica Japanese Cedar	4'-6" HT	B & B
SW	51	3	17 P.U.	sax. Integra "Hakuro-nishiki" Tri-Color Dappled Willow		3 gal container
TOTAL PLANTING UNITS PROVIDED: 58						
TOTAL PLANTING UNITS REQUIRED: 58						

DATE	REVISIONS
OWNER	
LDG RIDGEVILLE LLC	
8601 GEORGIA AVENUE, SUITE 200	
SILVER SPRING, MD 20910	
(301) 585-7000	
DEVELOPER	
LDG INC.	
LEE PLAZA	
8601 GEORGIA AVENUE, SUITE 200	
SILVER SPRING, MD 20910	
(301) 585-7000	

I CERTIFY TO THE BEST OF MY PROFESSIONAL ABILITY THAT THE FINAL LANDSCAPE PLAN SHOWN HEREON IS CONSISTANT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE MOUNT AIRY LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES, AND ORDINANCES.

LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER _____ DATE _____

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE FINAL LANDSCAPE PLAN SHOWN HEREON IS CONSISTANT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE MOUNT AIRY LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES, AND ORDINANCES AND AGREE TO IMPLEMENT THE FINAL LANDSCAPE PLAN SHOWN HEREON.

OWNER/DEVELOPER _____ DATE _____

CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN

LANDSCAPE PLAN

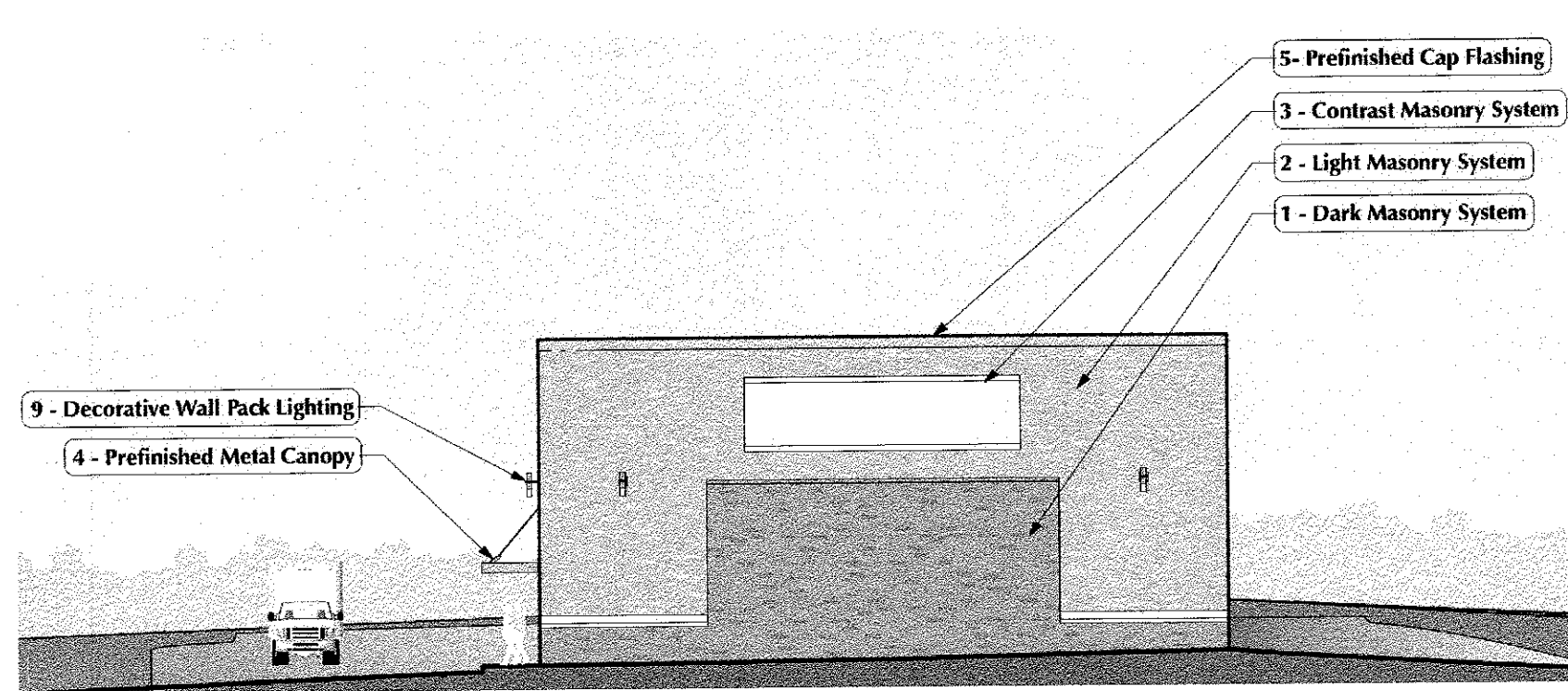
LOT 18A, SECTION II

TWIN RIDGE PROFESSIONAL PARK
TAX MAP: 90D, PARCEL 1408 PB 74. PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
CARROLL COUNTY, MARYLAND
SCALE: AS SHOWN MAY 2021

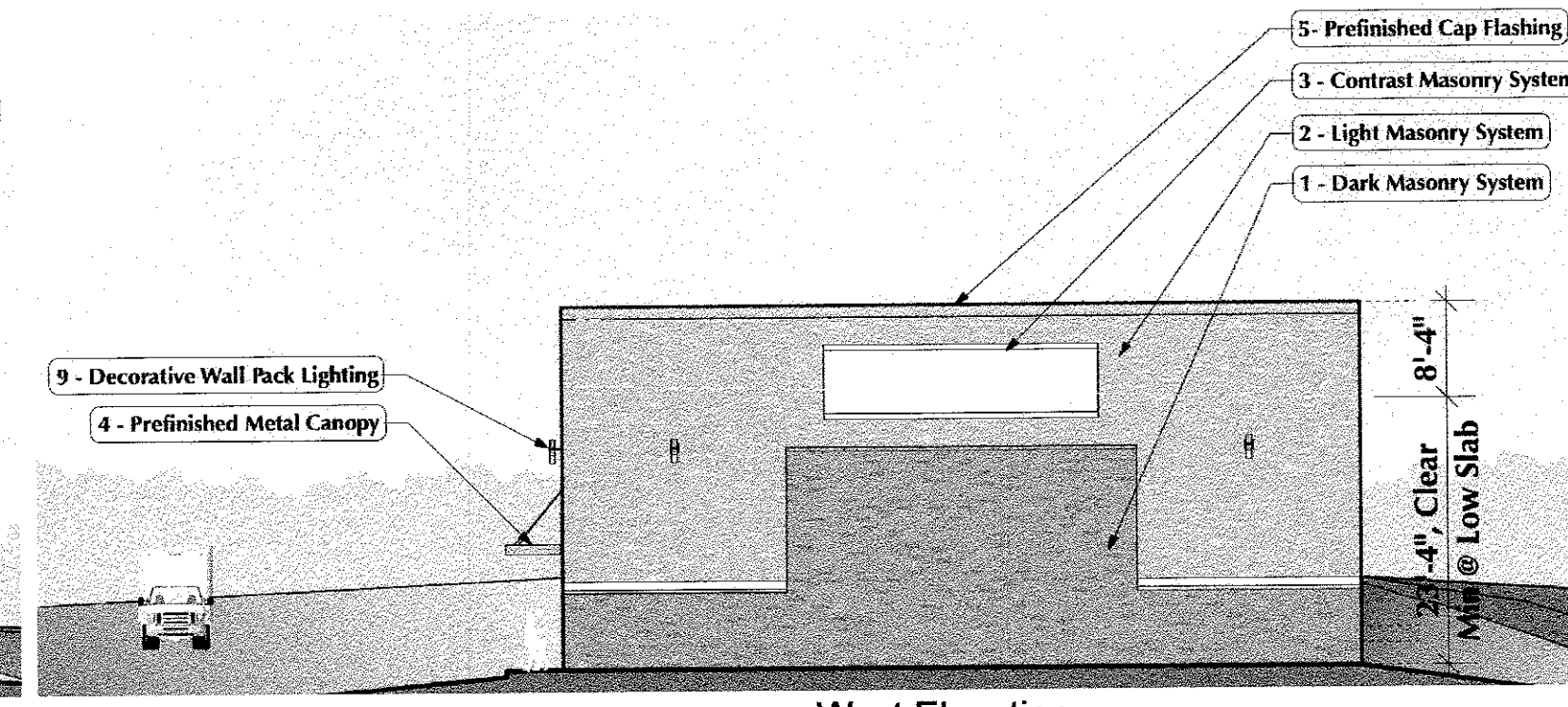
VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751
Fax (301) 831-5603 ©Copyright, Latest Date Shown

SHEET NO. 10 OF 11

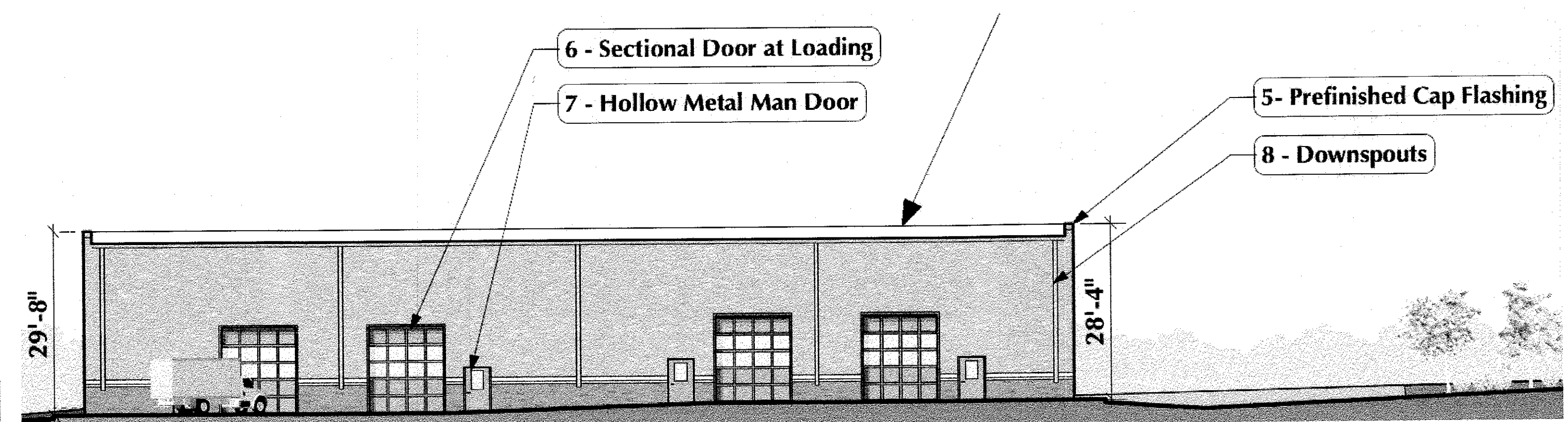
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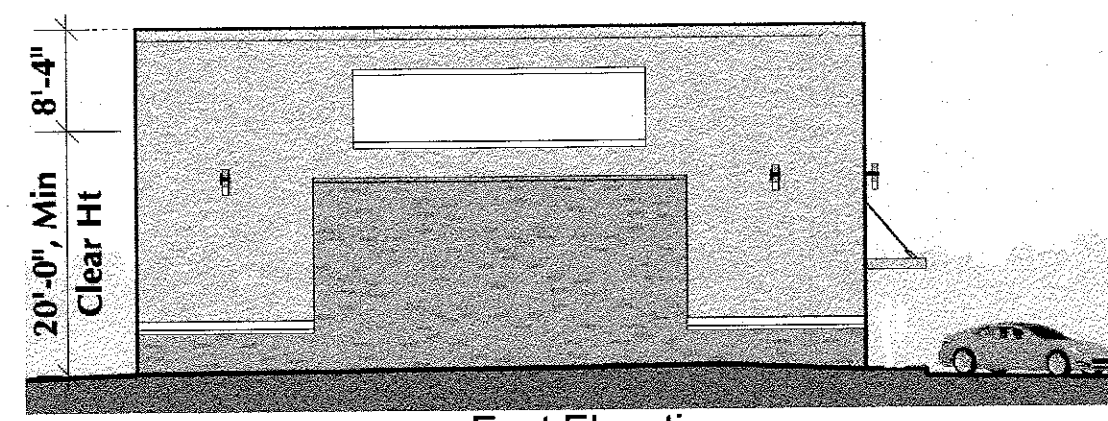
West Elevation



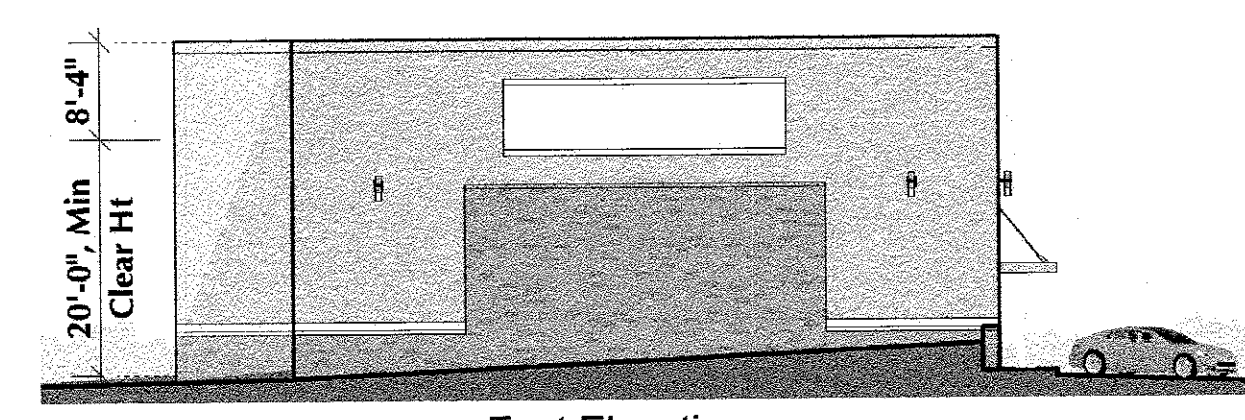
West Elevation



Rear Elevation



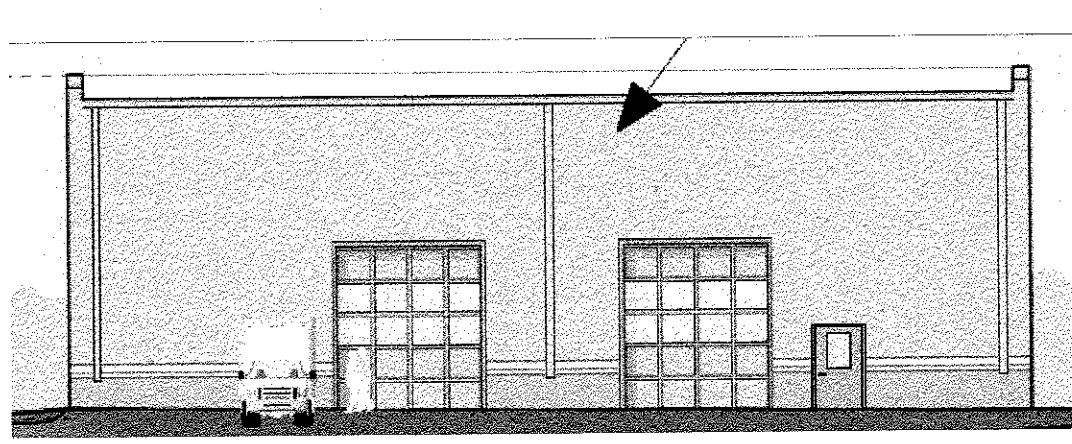
East Elevation



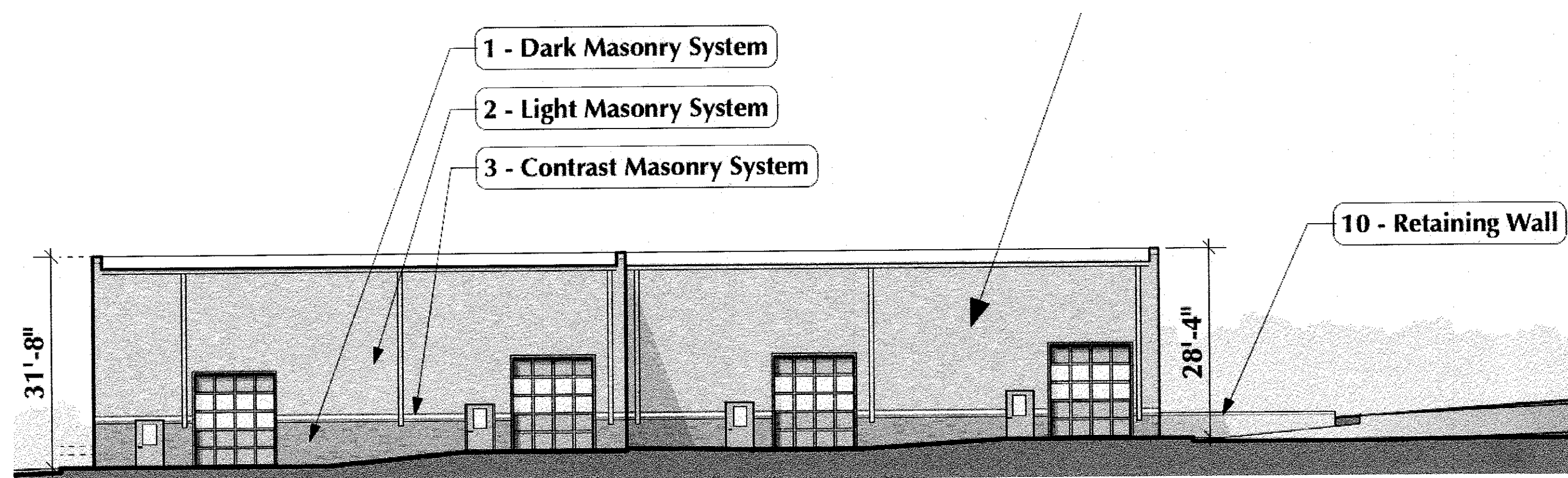
East Elevation



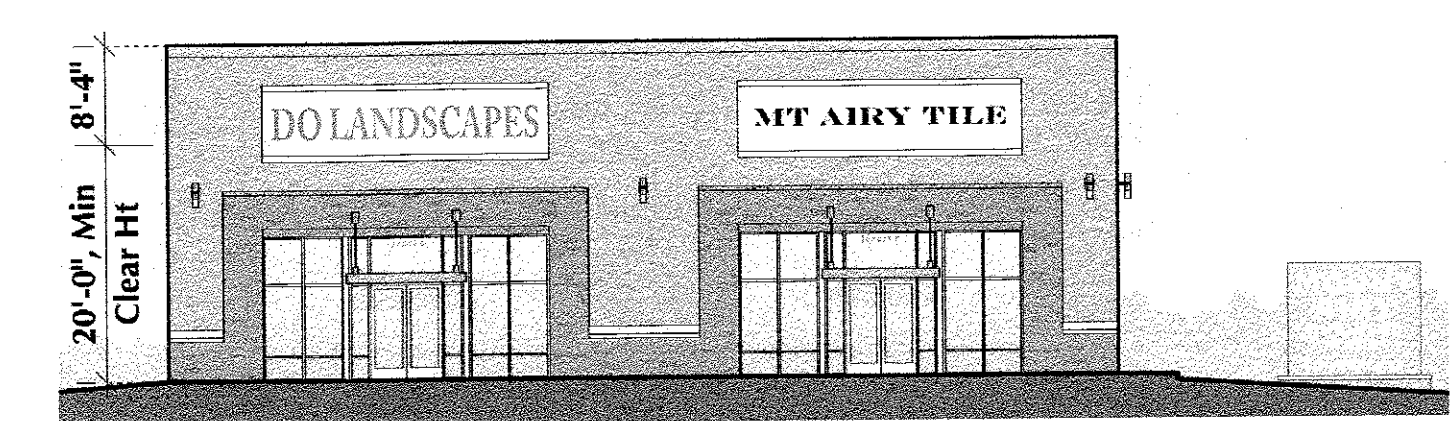
West Elevation



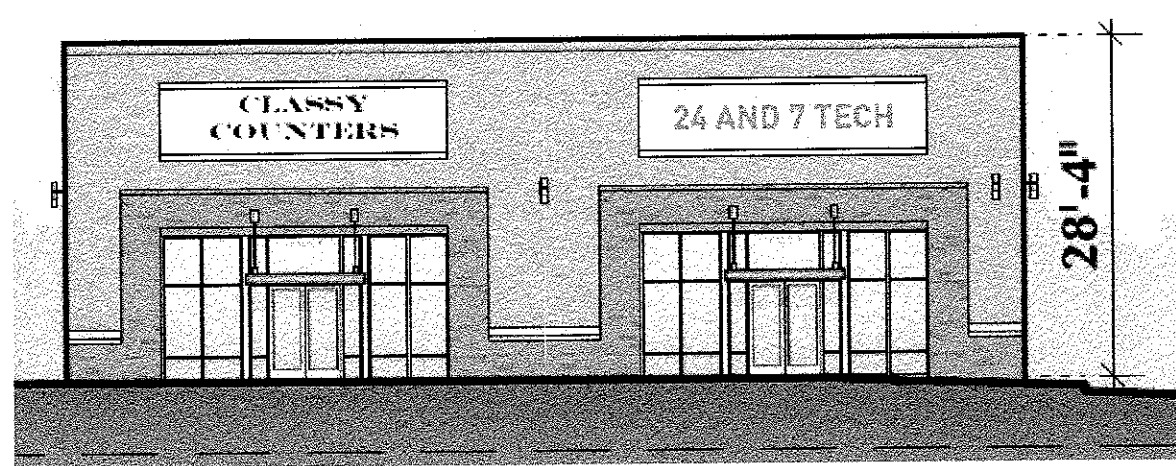
Rear Elevation



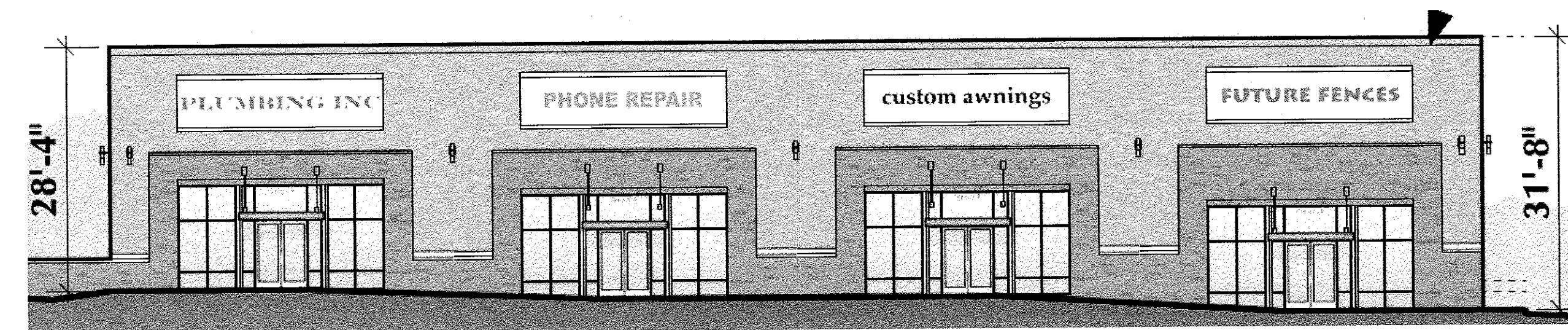
Rear Elevation



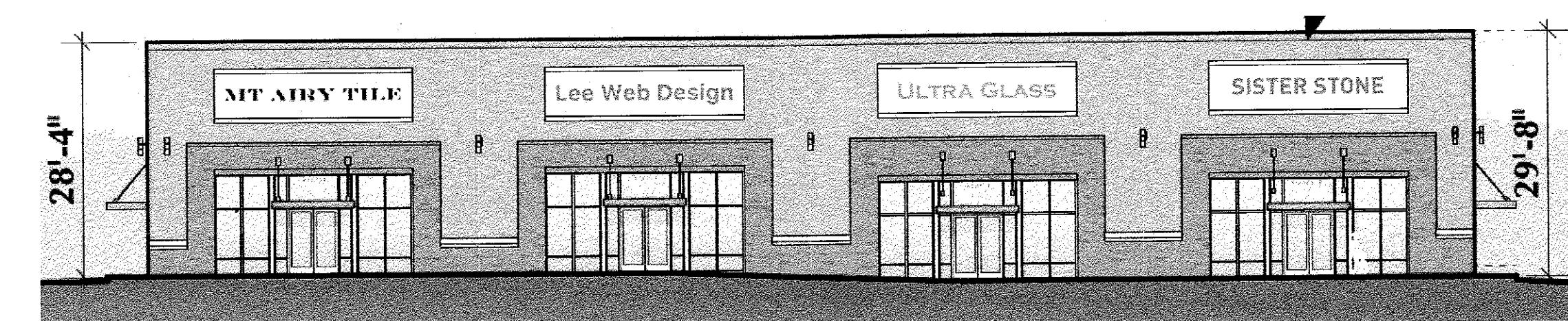
East Elevation



Building C
Elevation Facing Rising Ridge Road (North)



Building B
Elevation Facing Rising Ridge Road (North)



Building A
Elevation Facing Rising Ridge Road (North)

Material Key

- 1 Dark Color Masonry System
- 2 Light Color Masonry System
- 3 Contrasting Color Masonry System
- 4 Prefinished Metal Canopy
- 5 Prefinished Cap Flashing
- 6 Sectional Door at Loading
- 7 Hollow Metal Man Door
- 8 Downspouts, PTD to Match Adj. Color
- 9 Decorative Wall Pack Lighting
- 10 Retaining Wall, Match Masonry Colors
- 11 Storefront Glazing at Business Entries

Note : All Colors and Mfrs Subject to
Modification per Final Design

OWNER
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DEVELOPER
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SILVER SPRING, MD 20910
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CARROLL COUNTY FILE # S-20-0033

CONCEPT SITE PLAN ARCHITECTURAL PLAN

LOT 18A, SECTION II

TWIN RIDGE PROFESSIONAL PARK
TAX MAP: 90D, PARCEL 1408 PB 74, PG.119
SITUATED ON RISING RIDGE ROAD, TOWN OF MOUNT AIRY
18TH ELECTION DISTRICT
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SCALE: AS SHOWN MAY 2021

SHEET NO. 11 OF 11



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